

DISTRICT PLAN TEXT AMENDMENTS

KEY:

1. Text Amendments as Notified by Council and included in Proposed Plan Change 14

For the purposes of this plan change any unchanged text is shown as normal text or in bold, any text proposed to be added by the plan change as notified is shown as **bold underlined** and text to be deleted as ~~**bold**~~ ~~strikethrough~~.

Text in **green** font identifies existing terms defined in *Chapter 2 – Definitions*.

Where the proposed plan change contains a term defined in *Chapter 2 – Definitions*, the term is shown as **bold underlined text in green** and the wording to be deleted is shown as ~~**bold strikethrough in green**~~. New definitions in Chapter 2 and within a provision (including a rule) is shown as **bold green text underlined in black**.

Text in **blue** font indicates existing links to other provisions in the District Plan and/or external documents. These will have pop-ups and links, respectively, in the on-line Christchurch District Plan. Where the proposed plan change contains a new link, it is shown as **bold underlined text in blue**. Where a link is proposed to be deleted, it is shown as ~~**bold strikethrough in blue**~~.

2. Changes recommended by the Independent Hearings Panel

The changes recommended by the Independent Hearings Panel are based on Council's 'Reply Provisions' version, which include:

- Text recommended to be added/deleted by proposed PC14
- Text recommended to be added/deleted within s42A reports.
- Text recommended to be added/deleted from expert conferencing/joint witness statements.
- Text recommended to be added/deleted within s42A reports in response to matters raised during Hearings.

Where the Independent Hearings Panel recommends that the proposed PC14 provision be accepted the text is changed to **bold underlined** for the added text, and changes to ~~**bold strikethrough**~~ for text to be deleted.

Where the Independent Hearings Panel recommends that **green** definitions or the **blue** links to other provisions and/or external documents are accepted they *remain* unchanged.

Changes recommended by the Independent Hearings Panel (including to proposed PC14 provisions, definitions and links) are shown as **bold underlined** for text in the Council's 'Reply Provisions' that are recommended to be accepted or for additional new text, and ~~**bold deleted**~~ for text to be deleted (ie the purple and orange colours in the Council's 'Reply Provisions' have been removed).

3. Further Instructions and Explanations for Council

- a. There are no further instructions as all recommended changes have been shown in the chapter.

Chapter 16 Industrial

16.1 Introduction

- a. This introduction is to assist the lay reader to understand how this chapter works and what it applies to. It is not an aid to interpretation in a legal sense.
- b. This chapter provides for industrial and other compatible activities to occur in three industrial zones throughout the City, being the Industrial General, Industrial Heavy and Industrial Park Zones. Each zone has a different function, recognising its compatibility with surrounding land uses, the anticipated level of amenity in the zone, and the nature and scale of activities provided for. The adverse effects of activities are managed to support the anticipated outcome for the zone, while recognising that non-industrial sites adjoining an industrial zone will not have the same level of amenity anticipated by the Plan as other areas with the same zoning.
- c. A description of each of the three industrial zones is included in [Policy 16.2.1.3 - Range of industrial zones](#).
- d. The provisions in this chapter give effect to the [Chapter 3 Strategic Directions Objectives](#).

16.2 Objectives and Policies

16.2.1 Objective - Recovery and growth

- a. The recovery and economic growth of the district's industry is supported and strengthened in existing and new greenfield industrial zones.

16.2.1.1 Policy - Sufficient land supply

- a. Maintain a sufficient supply of industrial zoned land to meet short, medium and long term supply needs of industrial activities, having regard to the requirements of different industries, and to avoid the need for industrial activities to locate in non-industrial zones.

16.2.1.2 Policy - Enable the development of industrial areas to support recovery

- a. Encourage the redevelopment of existing industrial zones for industrial activities, particularly in areas that have lost industry and associated employment opportunities due to the earthquakes.

16.2.1.3 Policy - Range of industrial zones

- a. Recognise and provide for industrial zones with different functions that cater for a range of industrial and other compatible activities depending on their needs and effects as follows:
 - i. Industrial General Zone

- A. Recognise and provide for industrial and other compatible activities that can operate in close proximity to more sensitive zones due to the nature and limited effects of activities including noise, odour, and traffic, providing a buffer between residential areas and the Industrial Heavy Zone.
- ii. Industrial Heavy Zone
 - A. Recognise and provide for a full range of industrial and other compatible activities that generate potentially significant effects, including relatively high levels of noise, odour, heavy traffic movements, and the presence of significant amounts of **hazardous substances**, necessitating separation from more **sensitive activities**.
- iii. Industrial Park Zone
 - A. Recognise and provide for industrial activities in the high technology sector and other industries in a high amenity environment dominated by open space and **landscaping**, and that generate higher volumes of traffic than other industries while having negligible effects in terms of noise, odour or the use and storage of **hazardous substances**.

16.2.1.4 Policy - Activities in industrial zones

- a. Maintain and support the function of industrial zones while, subject to Clauses (b) and (c), providing for limited non-industrial activities that:
 - i. are **ancillary** in scale (subject to Clause (d)) and on the same **site** as a permitted or consented activity;
 - ii. are not appropriate in more sensitive environments due to their potential noise, odour or other environmental effects;
 - iii. incorporate characteristics that are compatible with the industrial zone and do not cause an undue constraint on other permitted activities within the zone;
 - iv. comprise **yard based supplier** or **trade suppliers** in the Industrial General Zone;
 - v. provide **emergency service facilities** and/or **community corrections facilities**;
 - vi. support the needs of workers and businesses in the zone including **food and beverage outlets**, **commercial services**, **gymnasiums**, and the care of children;
 - vii. meet the convenience needs of residents, workers and businesses in the Industrial General Zone (Waterloo Park) in a **Local Centre** **Neighbourhood Centre**;
 - viii. are rural activities associated with the irrigation of food processing wastewater in the identified area of the Industrial Heavy Zone (South West Hornby) (**Appendix 16.8.8**) that is integral to the ongoing operation of an established industrial activity.
 - ix. are **recreation facilities** in the Industrial General Zone that:
 - A. provide for active indoor **recreation activities** that due to scale are not appropriately located in the **Central City** or a **commercial centre**; and
 - B. are located near a commercial centre to support that centre; and

- C. do not give rise to reverse sensitivity effects on industrial activities, and do not undermine the ability of industrial activities to continue to operate or establish in the zone.
- b. Avoid any activity in industrial zones with the potential to hinder or constrain the establishment or ongoing operation or development of industrial activities and **strategic infrastructure**, or with the potential to be exposed to unacceptable risk. This includes but is not limited to avoiding:
 - i. **sensitive activities** located within the 50 dB L_{dn} Air Noise Contour, the Lyttelton Port Influences Overlay Area, the Woolston Risk Management Area and in proximity to the **National Grid**;
 - ii. non-sensitive discretionary or non-complying activities specified by **Rule 16.4.1.4 D1**, **Rule 16.5.1.4**, and **Rule 16.5.1.5 NC1** in the Woolston Risk Management Area unless the proposed activity in its location meets risk acceptability criteria appropriate to the applicable land use.
- c. Avoid the use of industrial zones for non-industrial activities that could adversely affect the strategic role of the **Central City**, **District Centres**, **Town Centres** and **Neighbourhood Local Centres** as focal points for **commercial activities**, **community activities**, **residential activities**, and other activities.
- d. Provide for **ancillary** activities, recognising their role in supporting industry, while being incidental in scale and function to a principal activity on the same **site**, and not inconsistent with Clauses b. and c.

Advice note for Clause b. ii:

- a. The Woolston Risk Management Area is shown on **Planning Map 47A**.
- b. Appropriate risk acceptability criteria were developed in accordance with the **Planning NSW Hazardous Industry Planning Advisory Papers No. 3 and 4 Risk Criteria for Land Use Safety Planning 2011**. Those criteria were used in determining the geographic extent of the Woolston Risk Management Area.
- c. Council holds and will make freely available to the public, the Quantitative Risk Assessments (QRAs) prepared by the LPG and oil depot companies for the Woolston Risk Management Area. The titles of these documents are:
 - a. The Woolston LPG Depot Quantitative Risk Assessment May 2018 (WorleyParsons);
 - b. The Mobil Woolston Terminal Quantitative Risk Assessment for Determination of Planning Overlay 22 June 2018 (Sherpa Consulting);
 - c. The Technical Note: Christchurch District Plan - Risk Overlay for Discussion 21 September 2018 (Sherpa Consulting); and
 - d. The Joint Response to Aurecon Peer Review of Woolston QRAs for input to CDP risk overlay 20 June 2019.
- d. The QRAs include individual risk contours and identify the types of activities that would not meet the acceptability criteria if located inside a particular risk contour. The more vulnerable the activity the greater the distance from the depot the activity has to be before meeting the acceptability criteria. Early consultation with the companies responsible for the LPG and oil

depots is encouraged for any proposed activity within the Woolston Risk Management Area, as the companies will be able to assist with the identification of appropriate risk issues relating to any proposed development.

- e. For the avoidance of doubt, [Policy 16.2.1.4\(b\)\(ii\)](#) does not apply to retail and office activities (whether permitted or restricted discretionary) that are ancillary to an activity that is otherwise permitted in the zone.

16.2.1.5 Policy - Office development

- a. Avoid office development in industrial areas other than where it is:
 - i. ancillary to a permitted or consented activity on the same site (subject to [Policy 16.2.1.4 d.](#));
 - ii. a secondary component to a high technology industrial activity located in the Industrial Park Zone that supports the function of the zone for primarily industrial activities.

16.2.1.6 Policy - Regionally significant infrastructure - Inland Port

- a. Enable regionally significant inland port infrastructure to operate and develop efficiently and safely through provisions that enable port activities while avoiding the potential for reverse sensitivity effects associated with sensitive land uses.

16.2.2 Objective – Brownfield redevelopment

- a. The recovery and economic growth of the Christchurch District is provided for by enabling residential, mixed-use or commercial redevelopment of appropriate brownfield sites and areas while ensuring that:
 - i. Commercial activities are primarily directed to the Central City and commercial centres; and
 - ii. Where commercial activities are located out of centres as a result of brownfield redevelopment, there are no significant adverse distributional or urban form effects on the Central City and commercial centres; and
 - iii. ~~For brownfield sites not identified within the Brownfield Overlay, the function of the wider industrial area for primarily industrial activities is not compromised, and~~
 - iv. ~~For brownfield sites within the Brownfield Overlay at Woolston (excludes the Tannery), Hornby, Cranford and Papanui, a high quality residential environment is achieved that is consistent with the outcomes sought for residential medium density zones.~~

Advice note:

- 1. [16.2.2 Objective](#) – Brownfield development and [16.2.2.1 Policy](#) - Brownfield site identification and [16.2.2.2 Policy](#) – Brownfield redevelopment are the only objective and policies in the

Industrial Chapter to be considered for any proposal for residential or mixed-use development of a brownfield site.

16.2.2.1 Policy - Brownfield site identification

- a. Unless a site is identified by a 'brownfield' overlay on the planning maps, a brownfield site shall meet the following criteria:
 - i. the land is previously used industrial land that is no longer being used; or
 - ii. the land is underutilised industrial land, taking into consideration (including, but not limited to):
 - A. the intensity of existing and recent land use activities on the site, including the period of time the land has not been used, or used for low intensity land uses;
 - B. quality of built form, including the age and condition of existing buildings;
 - C. the extent of buildings or other physical development on the site relative to the total area of the site; or
 - iii. ~~or~~ the land is no longer required by a requiring authority for a designated purpose; ~~and~~
 - iv. in addition, the redevelopment of the brownfield site will not adversely affect the supply of land to meet anticipated short, medium and long term supply needs of industrial activities, including industrial activities with specific locational requirements; and
 - v. the brownfield site is in a location that is not surrounded by industrial activities and/or will not erode the anticipated outcomes, including the function and amenity levels, of those parts of the zone not subject to brownfield redevelopment.

16.2.2.2 Policy – Brownfield redevelopment

- a. Provide for the redevelopment of brownfield sites identified by a brownfield overlay at ~~Waterloo Business Park and the Tannery~~ or identified in accordance with Policy 16.2.2.1 for residential activities, mixed use activities or commercial activities where:
 - i. Commercial activities are of a scale and/or type that do not have significant adverse distributional or urban form effects on the Central City and commercial centres; and
 - ii. Industrial activities remain the predominant use in the same geographic area zoned industrial.
- ~~b. Provide for the redevelopment of brownfield sites identified within the Brownfield Overlay at Hornby, Papanui, Cranford and Woolston (excludes the Tannery), for medium density residential activities.~~
- ~~c.~~ b. Brownfield redevelopment proposals as provided for in sub-clause a. ~~and b.~~ above shall also ensure that:
 - i. any redevelopment will not give rise to:

- a. **significant reverse sensitivity** effects on existing industrial activities, or other effects, that may hinder or constrain the establishment or ongoing operation or development of industrial activities **and**;
- b. **Reverse sensitivity effects on and strategic infrastructure**;
- ii. the safety and efficiency of the current and future **transport system** is not significantly adversely affected;
- iii. good quality urban design and an appropriate level of residential amenity will be achieved on the site;
- iv. the site enhances connectivity to public transport routes, commercial and community services, and open space where appropriate;
- v. any **contaminated land** is managed in accordance with national and regional standards;
- vi. the redevelopment maintains the strategic role of the **Central City** and **commercial centres** as the focal points for commercial and other activities, and the efficient and effective use of land and/or community and **transport infrastructure** investment in centres;
- vii. any environmental and cultural values within or **adjoining** the site are recognised and provided for in any redevelopment;
- viii. the development is comprehensively planned;
- ix. the effects of natural hazards are managed in accordance with the framework in Chapter 5;
- x. the principles of **crime prevention through environmental design** are incorporated into the development; and
- xi. the design of the development mitigates the effects of noise from traffic, railway activity, and other sources where necessary to protect residential amenity.

16.2.3 Objective – Effects of industrial activities

- a. Adverse effects of industrial activities and development on the environment are managed to support the anticipated outcome for the zone while recognising that **sites adjoining** an industrial zone will not have the same level of amenity anticipated by the Plan as other areas with the same zoning.
- b. The cultural values of Ngāi Tahu/ mana whenua are recognised, protected and enhanced through the use of indigenous species in **landscaping** and tree planting, a multi-value approach to stormwater management in **greenfield** areas, **low impact urban design**, and the protection and enhancement of wāhi tapu and wāhi taonga including waipuna.

16.2.3.1 Policy – Development in greenfield areas

- a. Manage effects at the interface between **greenfield** areas and **arterial roads**, rural and residential areas with **setbacks** and **landscaping**.

- b. Manage the development of **greenfield** areas in a manner aligned with the delivery of infrastructure, including upgrades to networks, to avoid adverse effects on networks serving these areas.
- c. Development shall recognise and support Ngāi Tahu cultural values through **low impact urban design**, the protection of **sites of Ngāi Tahu cultural significance** identified in **Schedule 9.5.6.1**, and recognition of other **sites of Ngāi Tahu cultural significance** identified in **Appendix 9.5.6** including waterways, **springs**, **wetlands** and **sites of indigenous vegetation** where practicable.
- d. Enable the ongoing use of land in the Industrial Heavy Zone (South West Hornby), (identified on **Appendix 16.8.8**) for rural activities and the associated irrigation of food processing wastewater at South West Hornby as an integral component of the **adjoining** industrial activity.

16.2.3.2 Policy – Managing effects on the environment

- a. The effects of development and activities in industrial zones, including **reverse sensitivity** effects on existing industrial activities as well as, visual, traffic, noise, glare and other effects, are managed through the location of uses, controls on bulk and form, **landscaping** and screening, particularly at the interface with **arterial roads** fulfilling a gateway function, and rural and residential areas, while recognising the functional needs of the activity.
- b. Effects of industrial activities are managed in a way that the level of residential amenity (including health, safety, and privacy of residents) **adjoining** an industrial zone is not adversely affected while recognising that it may be of a lower level than other residential areas.
- c. Development and activities are managed to avoid adverse effects on **strategic infrastructure** within or in proximity to industrial zones.
- d. The quantity of wastewater discharged in areas over unconfined or semi-confined aquifers is restricted to minimise any risk of contamination.
- e. The cultural values of Ngāi Tahu/mana whenua are recognised and supported through the protection of wāhi tapu and wāhi taonga, including waipuna, from the adverse effects of development, through the use of **low impact urban design**, use of indigenous species appropriate to the local environment, and stormwater management.
- f. Development in the Industrial Park Zone is designed and laid out to promote a safe environment and reflects principles of **Crime Prevention through Environmental Design** (CPTED).

16.2.3.3 Policy - Managing stormwater

- a. Ensure that stormwater is managed in a way that:
 - i. mitigates the adverse effects of flooding; and
 - ii. improves water quality in a manner which is consistent with maintaining environmental and public health.
- b. Encourage methods that achieve:

- i. a multi-value approach, using swales, **wetlands**, infiltration and retention basins, having regard to the location and environmental constraints; and
- ii. integration with the wider network, reflecting a catchment based approach.

16.2.4 Objective - Amenity at the western gateway to the City

- a. Development at the western gateway to the City and adjacent to Memorial Avenue has a high visual and aesthetic quality given its prominent location.

16.2.4.1 Policy - Amenity values along Memorial Avenue

- a. Maintain the **amenity values** along Memorial Avenue as a visitor gateway through the provision of **buildings** of a high visual and aesthetic quality, limited **signage**, a large **building setback** and **landscaping** along the frontage with Memorial Avenue.

16.3 How to interpret and apply the rules

- a. The rules that apply to activities in the various industrial zones are contained in the activity status tables (including activity specific standards) and built form standards in:
 - i. [Rule 16.4](#) – Industrial General Zone;
 - ii. [Rule 16.5](#) - Industrial Heavy Zone;
 - iii. [Rule 16.6](#) – Industrial Park Zone;
 - iv. [Rule 16.7](#) - Matters of discretion.
- b. Area specific rules also apply to activities within the Industrial General, Industrial Heavy and Industrial Park Zones in the following areas:
 - i. Industrial General Zone (Waterloo Park) (as identified in [Appendix 16.8.2](#)) - [Rule 16.4.3](#);
 - ii. Industrial General Zone (Portlink Industrial Park) (as identified in [Appendix 16.8.3](#)) - [Rule 16.4.4](#);
 - iii. Industrial General Zone (Musgroves) (as identified in [Appendix 16.8.4](#)) - [Rule 16.4.5](#);
 - iv. Industrial General Zone (North Belfast) (as identified in [Appendix 16.8.5](#)) - [Rule 16.4.6](#);
 - v. Industrial General Zone (Stanleys Road) (as identified in [Appendix 16.8.9](#)) – [Rule 16.4.7](#);
 - vi. Industrial General Zone (Trents Road) (as identified in [Appendix 16.8.6](#)) - [Rule 16.4.8](#);
 - vii. Industrial General Zone (South West Hornby) (as identified in [Appendix 16.8.8](#)) – [Rule 16.4.9](#);
 - viii. Industrial Heavy Zone (Sir James Wattie Drive) (as identified in [Appendix 16.8.7](#)) - [Rule 16.5.3](#);

- ix. Industrial Heavy Zone (South West Hornby) (as identified in [Appendix 16.8.8](#)) - [Rule 16.5.4](#); and
 - x. Industrial Heavy Zone (Springs Road) (as identified in [Appendix 16.8.13](#)) – [Rule 16.5.5](#);
 - xi. Industrial Park Zone (Tait Campus) (as identified in [Appendix 16.8.9](#)) - [Rule 16.6.3](#);
 - xii. Industrial Park Zone (Awatea) (as identified in [Appendix 16.8.10](#)) - [Rule 16.6.4](#);
 - xiii. Industrial Park Zone (Wairakei Road) (as identified in [Appendix 16.8.14](#)) - [Rule 16.6.5](#); and
 - xiv. Industrial Park Zone (Memorial Avenue) (as identified in [Appendix 16.8.15](#)) - [Rule 16.6.6](#).
- c. The activity status tables and standards in the following chapters also apply to activities in all areas of all industrial zones:
- 4 [Hazardous Substances and Contaminated Land](#);
 - 5 [Natural Hazards](#);
 - 6 [General Rules and Procedures](#);
 - 7 [Transport](#);
 - 8 [Subdivision, Development and Earthworks](#);
 - 9 [Natural and Cultural Heritage](#); and
 - 11 [Utilities and Energy](#).

16.4 Rules - Industrial General Zone

16.4.1 Activity status tables – Industrial General Zone

16.4.1.1 Permitted activities

- a. The activities listed below are permitted activities in the Industrial General Zone if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.4.2](#). Note, the built form standards do not apply to an activity that does not involve any development.
- b. Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited, as specified in [Rules 16.4.1.2](#), [16.4.1.3](#), [16.4.1.4](#), [16.4.1.5](#), and [16.4.1.6](#).
- c. The activities listed below include any associated [landscaping](#), [access](#), [parking areas](#), [loading](#), [waste management areas](#) and other hard standing areas.

Activity	Activity specific standards
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P1	Any new building or addition to a building for any activity listed in Rule 16.4.1.1 P2 to P21	Nil
P2	Industrial activity	
P3	Warehousing and distribution activities	
P4	High technology industrial activity	
P5	Service industry	
P6	Trade and industry training activity	
P7	Ancillary retail activity	<p>a. Any ancillary retail activity shall:</p> <ul style="list-style-type: none"> i. occupy no more than 250m² or 25% of the GFA of all buildings on the same site, whichever is the lesser; and ii. have visually transparent glazing on the ground floor elevation facing the street for a minimum of 20% of that elevation where goods are displayed for sale within the building and the retail activity fronts the street. iii. be limited to the display and sale of goods produced, processed or stored on the site.
P8	Retail activity on the Tannery site (between Cumnor Terrace and Tanner street), within the brownfield overlay on Planning Map 47 .	a. The maximum GFA of retail activity shall be 2,278m ² .
P9	Food and beverage outlet	Nil
P10	Trade supplier	
P11	Yard-based supplier	
P12	Service station	

P13	Second-hand goods outlet	
P14	Ancillary office	<p>a. Any ancillary offices shall:</p> <ul style="list-style-type: none"> i. occupy no more than 500m² or 30% of the GFA of all buildings on the same site, whichever is the lesser, or for yard based activities, shall occupy no more than 250m² of floor area on the whole site; and ii. have visually transparent glazing on the ground floor elevation facing the road for a minimum of 20% of that elevation where the office fronts the road. <p>Advice note:</p> <p>1. Clause i. shall not apply to land legally described as Lot 1 DP 2951, Lot 2 DP 2951, and Pt Sec 16 Lyttelton Town, where any office shall be ancillary to port activities.</p>
P15	Public transport facility	Nil
P16	Emergency service facilities	
P17	Gymnasium	
P18	<p>Preschool:</p> <ul style="list-style-type: none"> a. outside the 50 dB_{L_{dn}} Air Noise Contour; b. in Lyttelton, outside the Lyttelton Port Influences Overlay Area as defined on the planning maps; c. outside the Woolston Risk Management Area as defined on the planning maps. 	<p>a. Any preschool activity shall:</p> <ul style="list-style-type: none"> i. be located more than 100 metres from the boundary of an Industrial Heavy Zone; and ii. have any indoor areas (excluding bathroom, laundry, toilet, pantry, walk-in wardrobe, corridor, hallway, lobby or clothes drying room) designed and constructed to achieve an external to internal noise reduction of not less than 25 dB $D_{tr, 2m, nT, w} + C_{tr}$; and iii. have any bedroom or sleeping area designed and constructed to achieve an external to internal noise reduction of not less than 30dB

		$D_{tr,2m,nT,w} + C_{tr}$
P19	Parking lots and parking buildings	Nil
P20	Community corrections facility	
P21	Any activity listed in Rule 16.4.1.1 P1 to P20 at 65 – 67 Racecourse Road (Refer to Appendix 16.8.12)	a. Development is to be in accordance with the development plan in Appendix 16.8.12.
P22	Commercial film or video production	Nil

16.4.1.2 Controlled activities

- a. There are no controlled activities.

16.4.1.3 Restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in Rules 16.7.1 and 16.7.2, as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.4.1.1 P1-P21 and Rule 16.4.1.3 RD2 to RD4 that does not meet one or more of the built form standards in Rule 16.4.2, unless otherwise specified.</p> <p>Advice note:</p> <p>1. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <ul style="list-style-type: none"> i. Maximum height of buildings and fencing or screening structure – Rule 16.7.1.1 ii. Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3 iii. Minimum building setback from the boundary with a residential zone, residential property – Rule 16.7.1.4

	Activity	The Council's discretion shall be limited to the following matters:
		<ul style="list-style-type: none"> iv. Sunlight and outlook at boundary with a residential zone, residential property and road – Rule 16.7.1.5 v. Outdoor storage of materials – Rule 16.7.1.6 vi. Landscaped areas – Rule 16.7.1.7 vii. Access to the Industrial General Zone (Deans Ave) – Rule 16.7.1.8 viii. Water supply for fire-fighting – Rule 16.7.1.9 ix. For Rule 16.4.2.5, Outdoor storage of materials - Rule 16.7.1.6 (a), (c) and (d)
RD2	Any activity listed in Rule 16.4.1.1 P18 that does not meet one or more of the activity specific standards.	a. Sensitive activities – Rule 16.7.2.3
RD3	<ul style="list-style-type: none"> a. Commercial services b. Any application for this activity shall not be limited or publicly notified. 	a. Display of goods, show room and non-industrial activities – Rule 16.7.2.1
RD4	<ul style="list-style-type: none"> a. Any activity listed in Rule 16.4.1.1 P7, P8 and P14, that does not meet one or more of the activity specific standards. b. Any application for this activity shall not be limited or publicly notified. 	a. Display of goods, showroom and non-industrial activities - Rule 16.7.2.1
RD5	Any activity listed in Rule 16.4.1.1 P21 that does not comply with the development plan for the land at 65 – 67 Racecourse Road (refer to Appendix 16.8.12)	a. Development Plan for land at 65 – 67 Racecourse Road – Rule 16.7.1.10

	Activity	The Council's discretion shall be limited to the following matters:
RD6	Boarding of domestic animals.	a. Boarding of domestic animals – Rule 16.7.2.4
RD7	<u>Recreation facilities</u>	a. Display of goods, showroom and non-industrial activities – Rule 16.7.2.1
RD8	Comprehensive residential development on sites identified by a Brownfield Overlay at Hornby, Papanui, Cranford and Woolston.	a. 16.7.2.5 Brownfield Area Redevelopment

16.4.1.4 Discretionary activities

- a. The activities listed below are discretionary activities.

	Activity
D1	Any activity not provided for as a permitted, controlled, restricted discretionary, non-complying or prohibited activity.
D2	<u>Heavy industrial activity</u>

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16.4.1.5 Non-complying activities

- a. The activities listed below are non-complying activities.

	Activity
NC1	<p>a. <u>Sensitive activities:</u></p> <p>i. within 12 metres of the centre line of a 220kV <u>National Grid transmission line</u> or within 12 metres of the foundation of an associated <u>support structure</u>.</p> <p>ii. within 10 metres of the centre line of a 66 kV <u>electricity distribution line</u></p>

	Activity
	<p>or within 10 metres of a foundation of an associated support structure.</p> <p>iii. within 5 metres of the centre line of a 33 kV electricity distribution line or within 5 metres of a foundation of an associated support structure.</p> <p>b. Buildings on greenfield sites:</p> <p>i. within 12 metres of the centre line of a 220kV National Grid transmission line or within 12 metres of the foundation of an associated support structure.</p> <p>ii. within 10 metres of the centre line of a 66 kV electricity distribution line or within 10 metres of a foundation of an associated support structure.</p> <p>iii. within 5 metres of the centre line of a 33 kV electricity distribution line or within 5 metres of a foundation of an associated support structure.</p> <p>c. Buildings, other than those in b. above:</p> <p>i. within 12 metres of the foundation of a 220 kV National Grid transmission support structure.</p> <p>ii. within 10 metres of the foundation of a 66 kV electricity distribution support structure.</p> <p>iii. within 5 metres of the foundation of a 33 kV electricity distribution support structure.</p> <p>d. Fences within 5 metres of a National Grid transmission line support structure foundation or 5 metres of a 66 kV and 33 kV electricity distribution support structure foundation.</p> <p>e. Any application made in relation to this rule shall not be publicly notified, and shall, absent written approval, be limited notified only to Transpower New Zealand Limited and/or Orion New Zealand Limited or other electricity distribution network operator.</p> <p>Advice notes:</p> <p>The National Grid transmission lines and 66 kV and 33 kV electricity distribution lines are shown on the planning maps.</p> <p>Vegetation to be planted around the National Grid or electricity distribution lines should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003.</p> <p>The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to National Grid transmission lines and electricity distribution lines. Buildings and activity in the vicinity of National Grid transmission lines or electricity distribution lines must comply with the NZECP 34:2001.</p>

	Activity
NC2	Sensitive activity within the 50 dB _{L_{dn}} Air Noise Contour, the Woolston Risk Management Area or within the Lyttelton Port Influences Overlay Area as defined on the planning maps.
NC3	[Removed]
NC4	Residential activity on the Tannery site (between Cumnor Terrace and Tanner Street)
NC5	Any activity within the area defined by the overlay on the planning maps as "Area subject to wastewater discharge restrictions", which results in daily average sewage flows from a site to the Council's reticulated network exceeding 0.09 l/s/ha.

16.4.1.6 Prohibited activities

There are no prohibited activities.

16.4.2 Built form standards – Industrial General Zone

- a. The following built form standards shall be met by all permitted activities and restricted discretionary activities RD2, RD3 and RD4 unless otherwise stated.

16.4.2.1 Maximum height for buildings

- a. The maximum **height** of any **building** within 20 metres of a residential zone shall be 15 metres.
- b. Any application arising from this rule shall not be publicly notified.

16.4.2.2 Minimum building setback from road boundaries/ railway corridor

- a. The minimum **building setback** from a **road boundary** and a rail corridor boundary shall be as follows:

	Applicable to	Standard
i.	Any activity unless specified below	1.5 metres

	Applicable to	Standard
ii.	Any activity fronting on to an arterial road or opposite a residential zone unless specified in (iii)	3 metres
iii.	Buildings, balconies and decks on sites adjacent to or abutting railway lines.	4 metres from the rail corridor boundary

- b. Any application arising from this rule (other than clause iii.) shall not be limited or publicly notified.
- c. Any application arising from clause iii. of this rule shall not be publicly notified and shall be limited notified only to KiwiRail (absent its written approval).

16.4.2.3 Minimum building setback from the boundary with a residential zone

- a. The minimum **building setback** from the boundary with a residential zone shall be as follows:

	Applicable to:	Standard
i.	All buildings within sites which share a boundary with a residential zone	<p>a. 3 metres</p> <p>b. Clause (i) shall not apply to the Industrial General zone off Haytons Road.</p>

- b. Any application arising from this rule shall not be publicly notified.

16.4.2.4 Sunlight and outlook at boundary with a residential zone and road

	Standard
a.	<p>i. Where an internal site boundary adjoins a residential zone, no part of any building shall project beyond a building envelope contained by a 60° recession plane measured at any point 2-3 4.0 metres above the internal boundary in accordance with the relevant diagram in Appendix 16.8.11, unless specified below.</p> <p>ii. Clause (a) shall not apply to the Industrial General Zone off Haytons Road.</p>
b.	Where a site adjoins Blakes Road at East Belfast, no buildings shall project beyond a building envelope constructed by recession planes commencing at a point 8 metres above the road boundary with Blakes Road and climbing at an angle of 15 degrees until it reaches a line 50 metres back from and parallel to the road boundary with Blakes Road.

	Standard
e.	Within the Brownfield Overlay, where an internal site boundary adjoins a residential zone, no part of any building shall project beyond a building envelope contained by a 60° recession plane measured at any point 4 metres above the internal boundary.

- c. Where sites are located within a Flood Management Area, recession plane breaches created by the need to raise floor levels shall not be publicly or limited notified.
- d. Any application arising from this rule shall not be publicly notified.

16.4.2.5 Outdoor storage of materials

- a. Any outdoor storage areas shall:
- not be located within the minimum setbacks specified in Rule 16.4.2.2.
 - be screened by landscaping, fencing or other screening to a minimum of 1.8 metres in height from any adjoining residential zone.
- b. Any application arising from this rule shall not be limited or publicly notified, except where the adjoining zone is residential.

16.4.2.6 Landscaped areas

- a. Landscaping and trees shall be provided as follows:

	Standard
i.	<p>The road frontage of all sites opposite a residential zone or listed below shall have a landscaping strip with a minimum width of 1.5 metres, and minimum of 1 tree for every 10 metres of road frontage or part thereof.</p> <ol style="list-style-type: none"> Sites adjoining Main North Road (SH1) between Dickeys Road and Factory Road; Sites adjoining Main South Road, between Barthers Road and Halswell Junction Road; and Sites adjoining Tunnel Road. <p>D. This standard shall not apply to an emergency service facility or vehicle access to any site.</p>
ii.	<p>On sites adjoining a residential zone, trees shall be planted adjacent to the shared boundary at a ratio of at least 1 tree for every 10 metres of the boundary or part thereof.</p>

	Standard
iii.	All landscaping / trees required by these rules shall be in accordance with the provisions in Appendix 6.11.6 of Chapter 6.

- b. Any application arising from clause i. of this rule shall not be limited or publicly notified.

Advice note:

- a. Vegetation in close proximity to the **electricity transmission** network will need to be planted and managed in accordance with the **Electricity (Hazards from Trees) Regulations 2003**.
- b. Stormwater facilities shall be incorporated into any development to achieve effective stormwater management and to protect groundwater. The stormwater facilities, which support multiple values such as stormwater retention, water quality treatment, biodiversity enhancement, Ngāi Tahu/ mana whenua values and landscape amenity, should be incorporated into **landscaped areas**, where practicable, to achieve effective stormwater management and the protection of groundwater in an integrated manner. Stormwater treatment **sites** or treatment facilities should be separated from natural waterways with vegetated buffers to ensure stormwater is treated before it is discharged into natural waterways or natural **wetlands**.

16.4.2.7 Visual amenity and screening

- a. Where a **site** adjoins an Open Space, Specific Purpose (School), Specific Purpose (Cemetery) or Specific Purpose (Tertiary Education) Zone, provision shall be made for **landscaping**, fence(s), wall(s) or a combination to at least 1.8 metres in **height** along the length of the zone **boundary**, excluding any **road frontages**. Where **landscaping** is provided, it shall be continuous and for a minimum depth of 1.5 metres along the zone **boundary**.
- b. Any application arising from this rule shall not be limited or publicly notified.

16.4.2.8 Access to Industrial General Zone (Deans Avenue)

- a. Any activity in the Industrial General zone bound by Deans Avenue, Lester Lane and the railway line shall only have **access** from Lester Lane. In the event that Lester Lane is realigned, **site access** shall be solely from the realigned Lester Lane.
- b. Any application arising from this rule shall not be publicly notified.

16.4.2.9 Water supply for fire fighting

- a. Provision for sufficient water supply and access to water supplies for firefighting shall be made available to all **buildings** via **Council's** urban reticulated system (where available) in accordance with the **New Zealand Fire Service Firefighting Water Supplies Code of Practice (SNZ PAS: 4509:2008)**.

- b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to New Zealand Fire Service Commission (absent its written approval).

16.4.3 Area-specific rules - Industrial General Zone (Waterloo Park)

- a. The following rules and the Waterloo Park Outline Development Plan ([Appendix 16.8.2](#)) shall apply to the Industrial General Zone (Waterloo Park). All activities specified are also subject to the rules in [16.4.1](#) (Activity status tables) and [16.4.2](#) (Built form standards) unless specified otherwise in [16.4.3](#).

16.4.3.1 Area-specific activities–Industrial General Zone (Waterloo Park)

16.4.3.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial General Zone (Waterloo Park) if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.4.3.2](#).

Activity		Activity specific standards
P1	Activities listed in Rule 16.4.1.1 P1-P21	<p>a. Development shall comply with:</p> <p>i. All of the key structuring elements on the Waterloo Park Outline Development Plan (Appendix 16.8.2), being:</p> <p>A. Indicative location of new roads</p> <p>B. Indicative stormwater management area</p> <p>C. Indicative other open space</p> <p>ii. Built form standards in Rule 16.4.3.2, and Rule 16.4.2 unless specified otherwise in Rule 16.4.3.2.</p>
P2	Residential activity outside the 50 dB Ldn Air Noise Contour line defined on the planning maps.	<p>a. Any bedroom must be designed and constructed to achieve an external to internal noise reduction of not less than 35 dB Dtr, 2m, nT,w+ Ctr.</p> <p>b. Any residential activity shall have a minimum net floor area (including toilets and bathrooms but excluding lobby and/or reception area, parking area, garage and balconies) per unit of:</p> <p>i. Studio 35m²</p>

Activity		Activity specific standards																
		<p>ii. 1 bedroom 45m²</p> <p>iii. 2 bedroom 60m²</p> <p>iv. 3 or more bedrooms 90m²</p> <p>c. Each residential unit shall have:</p> <p>i. an outdoor service space of 3m² and a waste management area of 2m² per unit, each with a minimum dimension of 1.5 metres in either a private or communal area;</p> <p>ii. a single, indoor storage space of 4m³ with a minimum dimension of 1 metre; and</p> <p>iii. space designated for waste management, whether private or communal, which shall not be located between the road boundary and any building, and shall be screened from adjoining sites, roads, and adjoining outdoor living spaces by screening from the floor level of the waste management area to a height of 1.5 metres.</p> <p>d. Each residential unit shall have an outdoor living space with a minimum area and dimension as set out in the following table, located immediately outside and accessible from an internal living area of the residential unit.</p> <table border="1"> <thead> <tr> <th></th> <th>Type</th> <th>Area</th> <th>Dimension</th> </tr> </thead> <tbody> <tr> <td>i.</td> <td>Studio, 1 bedroom</td> <td>6m²</td> <td>1.5 metres</td> </tr> <tr> <td>ii.</td> <td>2 or 3 bedroom</td> <td>10m²</td> <td>1.5 metres</td> </tr> <tr> <td>iii.</td> <td>3 or more bedrooms</td> <td>15m²</td> <td>1.5 metres</td> </tr> </tbody> </table>		Type	Area	Dimension	i.	Studio, 1 bedroom	6m ²	1.5 metres	ii.	2 or 3 bedroom	10m ²	1.5 metres	iii.	3 or more bedrooms	15m ²	1.5 metres
	Type	Area	Dimension															
i.	Studio, 1 bedroom	6m ²	1.5 metres															
ii.	2 or 3 bedroom	10m ²	1.5 metres															
iii.	3 or more bedrooms	15m ²	1.5 metres															
P3	Retail activity	<p>a. The maximum GLFA of retail activity within the Industrial General Zone (Waterloo Park) shall be 3,000m² and shall be located in a local Neighbourhood centre.</p>																

Activity		Activity specific standards
		<p>b. The maximum GLFA per tenancy for any retail activity shall be 350m².</p>
P4	Office	<p>a. The maximum GLFA of offices within the Industrial General Zone (Waterloo Park) shall be 6,000m².</p> <p>b. The maximum GLFA of offices at ground floor level shall be 3000m² GLFA.</p> <p>c. The maximum GLFA of office per tenancy shall be 500m².</p>
P5	Key structuring elements identified on the outline development plan in Appendix 16.8.2.	<p>a. Development is to be in accordance with the key structuring elements on the outline development plan, as identified in Rule 16.4.3.1.1 P1.</p>
P6	Hosted visitor accommodation outside the 50 dB L _{dn} Air Noise Contour line defined on the planning maps	<p>a. A maximum of eight guests shall be accommodated at any one time in a residential unit.</p> <p>b. The Council shall be notified in writing prior to commencement.</p> <p>c. The owner of the unit shall keep records of the number of nights it is used for hosted visitor accommodation per year from the date Council are notified of commencement, and provide those records to the Council on request.</p>
P7	Unhosted visitor Accommodation outside the 50 dB L _{dn} Air Noise Contour Line defined on the planning maps	<p>a. A maximum of eight guests shall be accommodated at any one time.</p> <p>b. The number of nights a site is used for unhosted visitor accommodation shall not exceed 60 per year calculated from when Council are notified of commencement.</p> <p>c. The Council shall be notified in writing prior to commencement.</p> <p>d. The owner of the unit shall:</p> <ol style="list-style-type: none"> i. keep records of the number of nights it is used for unhosted visitor accommodation and provide those records to the Council on request; ii. provide up-to-date contact information of a local person and/or organisation responsible for managing the property

Activity	Activity specific standards
	<p>and responding to complaints, to all owners and occupiers of adjoining sites, on commencement, on request, or annually if not requested; and</p> <p>iii. ensure guests are provided clear instructions including maps/diagrams/photos/signs for check-in procedures, building access and parking arrangements, constraints on the use of outdoor areas, rubbish and recycling procedures, controls on functions and events, any relevant hazards and safety procedures, prior to arrival, and within the unit.</p> <p>e. There shall be a maximum of 16 vehicle movements per day associated with unhosted visitor accommodation.</p> <p>f. Guests shall not hold functions or events where the number of additional attendees exceed the number of paying guests between 22.00pm and 07:00am.</p> <p>g. Guest activities shall meet daytime and night time noise limits in Rule 6.1.5.2.1 and Rule 6.1.5.2.2.</p>

16.4.3.1.2 Area-specific controlled activities

There are no controlled activities

16.4.3.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1, 16.7.2 and 16.7.3.1](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<ol style="list-style-type: none"> a. Any site access directly onto Pound Road, Brixton, Wilson, or Mortlake Streets. b. Any application arising from this rule shall not be publicly notified. 	<ol style="list-style-type: none"> a. Outline development plan – Rule 16.7.3.1.1 (b)

	Activity	The Council's discretion shall be limited to the following matters:
RD2	<p>a. Any activity listed in Rule 16.4.3.1.1 P1-P4 and Rule 16.4.3.1.3 RD3 that does not meet one or more of the built form standards in Rule 16.4.3.2.</p> <p>Advice note: 1. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <ul style="list-style-type: none"> i. For Rule 16.4.3.2.1, Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3 ii. For Rule 16.4.3.2.1, Outline Development Plan – Rule 16.7.3.1.1 iii. Landscaped areas – Rule 16.7.1.7
RD3	<p>a. Any activity listed in Rule 16.4.3.1.1 P2 that does not meet one or more of the activity specific standards b., c. or d.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Residential activity - Rule 16.7.2.2</p>
RD4	<p>a. Any development not complying with a key structuring element on the outline development plan in Appendix 16.8.2.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Outline development plan – Rule 16.7.3.1.1</p>
RD5	<p>a. Hosted visitor accommodation outside the 50 dB Air Noise Contour line defined on the planning maps that does not meet activity specific standards in Rule 16.4.3.1.1 P6 that does not exceed 12 guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>	<p>a. Hosted visitor accommodation, Unhosted visitor accommodation - Rule 16.7.3.2.1.</p>
RD6	<p>a. Unhosted visitor accommodation outside the 50 dB Air Noise Contour line defined on the planning maps that does not meet activity specific standards in Rule 16.4.3.1.1 P7 that does not exceed 12 guests per site at any one time.</p>	

	Activity	The Council's discretion shall be limited to the following matters:
	b. Any application arising from this rule shall not be publicly notified but may be limited notified.	

16.4.3.1.4 Area-specific discretionary activities

a. The activities listed below are discretionary activities.

D1	Any activity listed in Rule 16.4.3.1.1 P3 or P4 that does not meet the activity specific standards.
D2	<p>a. Hosted visitor accommodation that exceeds twelve guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>
D3	<p>a. Unhosted visitor accommodation that exceeds twelve guests per site at any one time.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>

16.4.3.1.5 Area-specific non-complying activities

a. The activities listed below are non-complying activities.

	Activity
NC1	Any activity which results in the daily average sewage flow from the Industrial General Zone (Waterloo Park) to exceed 0.09l/s/ha, and the average daily sewage discharge to exceed 863m ³ / day.
NC2	Any residential activity listed in Rule 16.4.3.1.1 P2 that does not meet activity specific standard a.
NC3	<p>a. Visitor accommodation that is not hosted visitor accommodation, or unhosted visitor accommodation.</p> <p>b. Any application arising from this rule shall not be publicly notified but may be limited notified.</p>

16.4.3.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.4.3.2 Area-specific built form standards – General Industrial Zone (Waterloo Park)

16.4.3.2.5 Minimum building setback from road boundaries

a. The minimum **building setback** from **road boundaries** shall be as follows:

	Applicable to	Standard
i.	Pound Road north of setback line identified on the outline development plan in Appendix 16.8.2i .	10 metres
ii.	Pound Road south of setback line identified on the outline development plan in Appendix 16.8.2i .	20 metres

b. Any application arising from rule shall not be limited or publicly notified.

16.4.3.2.6 Landscaped areas

a. **Landscaping** shall be provided as follows:

	Applicable to	Standard
i.	Pound Road frontage only	<p>a. A landscaping strip shall be provided adjacent to the Pound Road frontage with a minimum width of 10 metres along and adjoining the site boundary with Pound Road, excluding vehicle crossings and rear sites.</p> <p>b. On sites with frontage to Pound Road and within the area identified as requiring specific landscape treatment on the outline development plan in Appendices 16.8.2 ii. and iii., all landscaping shall be in accordance with the relevant design in that Appendix.</p> <p>c. The requirements of (A) and (B) shall be completed as a condition of subdivision consent, or if there is no subdivision required, in conjunction with development in the locations that clauses (A) and (B) relate to as a permitted activity standard.</p>

b. Any application arising from this rule shall not be limited or publicly notified.

16.4.4 Area-specific rules - Industrial General Zone (Portlink Industrial Park)

- a. The following rules and the Portlink Industrial Park Development Plan ([Appendix 16.8.3](#)) shall apply to the Industrial General Zone (Portlink Industrial Park). All activities specified are also subject to the rules in [16.4.1](#) (Activity status tables) and [16.4.2](#) (Built form standards) unless specified otherwise in [16.4.4](#).

16.4.4.1 Area-specific activities – Industrial General Zone (Portlink Industrial Park)

16.4.4.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial General Zone (Portlink Industrial Park) if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.4.4.2](#).

Activity		Activity specific standards
P1	Activities listed in Rule 16.4.1.1 P1-P21	<p>a. Development shall comply with:</p> <p>i. The key structuring element on the Portlink Industrial Park Development Plan (Appendix 16.8.3), being:</p> <p>A. Road access.</p> <p>iii. Built form standards in Rule 16.4.4.2, and Rule 16.4.2 unless specified otherwise in Rule 16.4.4.2.</p>
P2	Key structuring elements identified on the development plan in Appendix 16.8.3 .	<p>a. Development is to be in accordance with the key structuring element on the Portlink Industrial Park Development Plan (Appendix 16.8.3): being as identified in Rule 16.4.4.1.1 P1.</p>

16.4.4.1.2 Area-specific controlled activities

There are no controlled activities.

16.4.4.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.

- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1, 16.7.2 and 16.7.3.2](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.4.4.1.1 P1 that does not meet one or more of the built form standards in Rule 16.4.4.2.</p> <p>Advice note:</p> <p>1. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <ul style="list-style-type: none"> i. Maximum height of buildings and fencing or screening structure – Rule 16.7.1.1 ii. Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3 iii. For Rule 16.4.4.2.3, Landscaped areas – Rule 16.7.1.7 iv. For Rule 16.4.4.2.3, Landscaping in Portlink Industrial Park Development Plan – Rule 16.7.3.2.2 v. For Rule 16.4.4.2.3 b., Cycle and pedestrian links – Rule 16.7.3.2.3
RD2	<p>a. Any development not complying with a key structuring element on the Portlink Industrial Park Development Plan in Appendix 16.8.3.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Development plan – Rule 16.7.3.2.1</p>

16.4.4.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.4.4.1.5 Area-specific non-complying activities

- a. There are no area-specific non-complying activities.

16.4.4.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.4.4.2 Area-specific built form standards – Industrial General Zone (Portlink Industrial Park)

16.4.4.2.1 Maximum height of buildings

- a. The maximum height of any building within the '11m Building Height Limit Area' defined on the development plan in Appendix 16.8.3 shall be 11 metres.
- b. Any application arising from this rule shall not be publicly notified.

16.4.4.2.2 Minimum building setback from road boundaries

- a. The minimum building setback from the road boundary with Tunnel Road shall be 3 metres.
- b. Any application arising from this rule shall not be limited or publicly notified.

16.4.4.2.3 Landscaped areas

- a. Landscaping and trees shall be provided as follows:

	Applicable to:	Standard
i.	Tunnel Road frontage only	<p>A. Any site that adjoins Tunnel Road shall have a landscaping strip with a minimum width of 1.5 metres along the site boundary with Tunnel Road with the exception of that part defined on the development plan in Appendix 16.8.3 as 'Landscape and stormwater area (Green Space)'; and</p> <p>B. Planting of trees and shrubs within the landscaping strip adjacent to Tunnel Road shall be in accordance with the Landscape Plan and Plant Species List (see Appendix 16.8.3) and shall meet the requirements specified in Part A of Appendix 6.11.6 of Chapter 6; and</p> <p>C. The landscaping required under Rule 16.4.4.2.3.i. shall be completed as a condition of subdivision consent, or if there is no subdivision required, in conjunction with development in the locations that clause a. relates to as a permitted activity standard.</p>
ii.	Landscaping adjacent to the Heathcote River and within the zone	<p>A. Planting of trees and shrubs within the 'Landscape and stormwater area (Green Space)' defined on the development plan in Appendix 16.8.3 adjacent to the Heathcote River shall be in accordance with the Landscape Plan and Plant Species List (see Appendix 16.8.3) and the requirements specified in Part A of Appendix 6.11.6 of Chapter 6; and</p>

	Applicable to:	Standard
		<p>B. Legal public access ways within the landscaping strip adjoining the Heathcote River shall be provided as indicated by 'Pedestrian access' on the development plan in Appendix 16.8.3; and</p> <p>C. There shall be no erection of buildings, fences, the display of outdoor advertisements, parking of vehicles or use for any purpose other than landscaping, passive recreation or ecological enhancement within the 'Landscape and Stormwater Area (Green Space)' defined on the development plan in Appendix 16.8.3, and</p> <p>D. Existing vegetation as marked on the development plan in Appendix 16.8.3 as 'Existing vegetation to be retained' shall be maintained.</p>

- b. Any application arising from this rule shall not be limited or publicly notified.

Advice note:

- a. Stormwater facilities shall be incorporated into any development to achieve effective stormwater management and to protect groundwater. The stormwater facilities, which support multiple values such as stormwater retention, water quality treatment, biodiversity enhancement, Ngāi Tahu/mana whenua values and landscape amenity, should be incorporated into **landscaped areas**, where practicable, to achieve effective stormwater management and the protection of groundwater in an integrated manner. Stormwater treatment sites or treatment facilities should be separated from natural waterways with vegetated buffers to ensure stormwater is treated before it is discharged into natural waterways or natural **wetlands**.

16.4.5 Area-specific rules – Industrial General Zone (Musgroves)

- a. The following rules and the Musgroves Development Plan ([Appendix 16.8.4](#)) shall apply to the Industrial General Zone (Musgroves). All activities specified are also subject to the rules in [16.4.1](#) (Activity status tables) and [16.4.2](#) (Built form standards) unless specified otherwise in [16.4.5](#).

16.4.5.1 Area-specific activities – Industrial General Zone (Musgroves)

16.4.5.1.1 Area-specific permitted activities

There are no permitted activities.

16.4.5.1.2 Area-specific controlled activities

There are no controlled activities.

16.4.5.1.3 Area-specific restricted discretionary activities

There are no area-specific restricted discretionary activities.

16.4.5.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.4.5.1.5 Area-specific non-complying activities

a. The activities listed below are non-complying activities.

	Activity
NC1	Any site access to Wigram Road or Aidanfield Drive.
	[Removed]

16.4.5.1.6 Area-specific prohibited activities

a. There are no prohibited activities.

16.4.5.2 Area-specific built form standards – Industrial General Zone (Musgroves)

There are no area-specific built form standards.

16.4.6 Area-specific rules – Industrial General Zone (North Belfast)

- a. The following rules and the North Belfast Outline Development Plan ([Appendix 16.8.5](#)) shall apply to the Industrial General Zone (North Belfast). All activities specified are also subject to the rules in [16.4.1](#) (Activity status tables) and [16.4.2](#) (Built form standards) unless specified otherwise in [16.4.6](#).

16.4.6.1 Area-specific activities – Industrial General Zone (North Belfast)

- a. The area of land within the boundary of the North Belfast Outline Development Plan ([Appendix 16.8.5](#)) between Factory Road and Kaputone Stream is subject to the rules applicable to the Rural Urban Fringe Zone and [Rule 16.4.6.1.1](#) (P2) and [Rule 16.4.6.1.4](#) (D1) set out below. It is not subject to any other provisions of [Rule 16.4.6.1](#) until such time as the landowner advises the Council in writing that it proposes to cease undertaking rural activities and composting on the land, or, at the latest, on 30 March 2026. From that date, the provisions of the Industrial General Zone (North Belfast) shall apply.

16.4.6.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial General Zone (North Belfast) if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.4.6.2](#).

Activity		Activity specific standards
P1	Activities listed in Rule 16.4.1.1 P1-P21	<p>a. Development shall comply with:</p> <p>i. The key structuring elements on the North Belfast Outline Development Plan (Appendix 16.8.5), being:</p> <p>A. Proposed Collector Road</p> <p>B. Stormwater Facility Locations</p> <p>C. Springs</p> <p>D. Stormwater Management Area 1 (sizing indicative)</p> <p>ii. Built form standards in Rule 16.4.6.2, and Rule 16.4.2 unless otherwise specified in Rule 16.4.6.2.</p>
P2	a. Within the area between Factory Road and Kaputone Stream on the North Belfast Outline Development Plan (Appendix 16.8.5), those activities permitted in the Rural Urban Fringe Zone and the composting	<p>a. Compliance with the relevant Rural Urban Fringe Zone activity specific standards for permitted activities.</p> <p>b. Any activity listed as a permitted activity in the Rural Urban Fringe Zone, but which does not meet any one or more of the relevant activity</p>

	<p>of materials authorised by resource consent from Canterbury Regional Council.</p> <p>b. This rule shall apply until the landowner advises the Council in writing that it proposes to cease undertaking rural activities and composting on the land, or, at the latest, until 30 March 2026. From that date, the provisions of the Industrial General Zone (North Belfast) shall apply.</p>	<p>specific standards, is subject to Rule 16.4.6.1.4 D1.</p>
P3	<p>Key structuring elements identified on the Outline Development Plan in Appendix 16.8.5.</p>	<p>a. Development is to be in accordance with the key structuring elements on the North Belfast Outline Development Plan (Appendix 16.8.5): being as identified in Rule 16.4.6.1.1 P1.</p>

16.4.6.1.2 Area-specific controlled activities

- a. The activities listed below are controlled activities.
- b. Discretion to impose conditions is restricted to the matters over which control is reserved in [Rule 16.7.3.4](#), as set out in the following table.

Activity		The Council's control is reserved to the following matters:
C1	<p>a. Buildings that do not meet Rule 16.4.6.2.4 and that are between 10 and 20 metres from:</p> <ol style="list-style-type: none"> i. the surveyed point of the spring identified on the Outline Development Plan in Appendix 16.8.5; or ii. any spring not identified on the Outline Development Plan in Appendix 16.8.5, and not within Lots 5, 6 and 7 DP 71209, in which case the setback shall be measured from the head or heads of the spring where visible. 	<p>a. Springs - Rule 16.7.3.4.3.</p>

16.4.6.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1](#), [16.7.2](#) and [16.7.3.4](#), as set out in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any proposed road access into the Outline Development Plan area (defined in Appendix 16.8.5 by 'ODP boundary') from Main North Road (State Highway 1), excluding the section of Main North Road north east of State Highway 1.</p> <p>b. Any application arising from this rule shall not be publicly notified, and shall be limited notified only to the road controlling authority (absent its written approval).</p>	<p>a. Additional road access – Rule 16.7.3.4.2</p>
RD2	<p>a. Activities P1 and P2 listed in Rule 16.4.6.1.1 that do not meet one or more of the built form standards in Rule 16.4.6.2 (except for Rule 16.4.6.2.4)</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <ul style="list-style-type: none"> i. Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3 ii. Minimum building setback from the boundary with a residential zone, residential property – Rule 16.7.1.4 iii. For Rule 16.4.6.2.3, Landscaped areas – Rule 16.7.1.7 iv. For Rule 16.4.6.2.3, Outline development plan- Rule 16.7.3.4.1
RD3	<p>a. Buildings that do not meet Rule 16.4.6.2.4 and that are less than 10 metres from:</p> <ul style="list-style-type: none"> i. the surveyed point of the spring identified on the Outline Development Plan in Appendix 16.8.5; or ii. any spring not identified on the Outline Development Plan in Appendix 16.8.5, and not within Lots 5, 6 and 7 DP 71209, in which case the 	<p>a. Springs - Rule 16.7.3.4.3</p>

Activity		The Council's discretion shall be limited to the following matters:
	setback shall be measured from the head or heads of the spring where visible.	
RD4	<p>a. Any development not complying with a key structuring element on the North Belfast Outline Development Plan (Appendix 16.8.5).</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	a. Outline development plan – Rule 16.7.3.4.1

16.4.6.1.4 Area-specific discretionary activities

- a. The activities listed below are discretionary activities.

Activity	
D1	<p>a. Within the area between Factory Road and Kaputone Stream on the North Belfast Outline Development Plan (Appendix 16.8.5), any activity not otherwise permitted in the Rural Urban Fringe Zone and not being the composting of materials authorised by resource consent from Canterbury Regional Council.</p> <p>b. This rule shall apply until the landowner advises the Council in writing that it proposes to cease undertaking rural activities on the land, or, at the latest, until 30 March 2026. From that date, the provisions of the Industrial General Zone (North Belfast) shall apply.</p>

16.4.6.1.5 Area-specific non-complying activities

- a. The activities listed below are non-complying activities.

Activity	
NC1	[Removed]
NC2	Any site access directly onto Main North Road or the Northern Arterial.

16.4.6.1.6 Area-specific prohibited activities

- a. There are no prohibited activities.

16.4.6.2 Area-specific built form standards – Industrial General Zone (North Belfast)

16.4.6.2.1 Minimum building setback from road boundaries

- a. The minimum **building setback** from the Northern Arterial designation shall be 10 metres.
- b. Any application arising from this rule shall not be limited or publicly notified.

16.4.6.2.2 Minimum building setback from a boundary with Belfast cemetery or an esplanade reserve or strip

- a. **Buildings** shall be **setback** from the specified **boundaries** as follows:

	Applicable to:	Permitted
i.	Boundary with 'Belfast cemetery' or 'Future area for Cemetery purposes' as defined on the North Belfast Outline Development Plan in Appendix 16.8.5.i	6 metres
ii.	Boundaries with an esplanade reserve or esplanade strip	3 metres

- b. Any application arising from this rule shall not be limited or publicly notified.

16.4.6.2.3 Landscaped areas

- a. **Landscaping** and trees shall be provided as follows:

	Applicable to:	Standard
i.	Sites adjoining 'Belfast cemetery' and 'Future area for cemetery purposes' as defined on the North Belfast Outline Development Plan (Appendix 16.8.5), or a residential zone	<p>a. Sites adjoining 'Belfast cemetery' or 'Future area for cemetery purposes' as defined on the North Belfast Outline Development Plan (Appendix 16.8.5), or a residential zone, shall have a landscaping strip with a minimum width of 3 metres along that boundary with the 'Belfast cemetery', 'Future area for cemetery purposes' and residential zone.</p> <p>b. All landscaping / trees required under (a.) shall be in accordance with the provisions in Appendix 6.11.6 of Chapter 6.</p> <p>c. The requirements of clause (a) shall be completed as a</p>

	Applicable to:	Standard
		condition of subdivision consent, or if there is no subdivision required, in conjunction with development in the locations that clause (a) relates to.
ii.	Setback from the outer edge of esplanade reserves	<p>a. Any site that adjoins an esplanade reserve shall have a landscaping strip with a minimum width of 3 metres along the site boundary with the esplanade reserve.</p> <p>b. All landscaping / trees required under (a) shall be in accordance with the provisions in Appendix 6.11.6 of Chapter 6.</p> <p>c. The requirements of clause (a) shall be completed as a condition of subdivision consent, or if there is no subdivision required, in conjunction with development in the locations that clause (a) relates to.</p>

b. Any application arising from this rule shall not be limited or publicly notified.

16.4.6.2.4 Minimum building setback from springs

- a. **Buildings** shall be **setback** more than 20 metres from:
- i. the surveyed point of the **spring** identified on the Outline Development Plan in **Appendix 16.8.5**; or
 - ii. any **spring** not identified on the Outline Development Plan in **Appendix 16.8.5**, and not within Lots 5, 6 and 7 DP 71209, in which case the **setback** shall be measured from the head or heads of the **spring** where visible.

16.4.7 Area-specific rules – Industrial General Zone (Stanleys Road)

- a. The following rules shall apply to the Industrial General Zone (Stanleys Road). All activities specified are also subject to the rules in **16.4.1** (Activity status tables) and **16.4.2** (Built form standards) unless specified otherwise in **16.4.7**.

16.4.7.1 Area-specific activities – Industrial General Zone (Stanleys Road)

16.4.7.1.1 Area-specific permitted activities

There are no permitted activities.

16.4.7.1.2 Area-specific controlled activities

There are no controlled activities.

16.4.7.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rule 16.7.3.5](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.4.1.1 P1-P21 that does not meet one or more of the built form standards in Rule 16.4.7.2.</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. Roading and access- Rule 16.7.3.5.1</p>

16.4.7.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.4.7.1.5 Area-specific non-complying activities

- a. There are no area-specific non-complying activities.

16.4.7.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.4.7.2 Area-specific built form standards – Industrial General Zone (Stanleys Road)

16.4.7.2.5 Roading and access

- a. Any development preceding [subdivision](#) at 6 Stanleys Road shall include a footpath along the [road frontage](#) of 6 Stanleys Road.
- b. Any application arising from this rule shall not be limited or publicly notified.

16.4.8 Area-specific rules – Industrial General Zone (Trents Road)

- a. The following rules and the Trents Road Outline Development Plan ([Appendix 16.8.6](#)) shall apply to the Industrial General Zone (Trents Road). All activities specified are also subject to the rules in [16.4.1](#) (Activity status tables) and [16.4.2](#) (Built form standards) unless specified otherwise in [16.4.8](#).

16.4.8.1 Area-specific activities – Industrial General Zone (Trents Road)

16.4.8.1.1 Area-specific permitted activities

There are no permitted activities.

16.4.8.1.2 Area-specific controlled activities

There are no controlled activities.

16.4.8.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1, 16.7.2](#) and [16.7.3.6](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.4.1.1 P1-P21 that does not meet one or more of the built form standards in Rule 16.4.8.2, except for built form standard 16.4.8.2.3.</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <p>i. Minimum building setback from the boundary with a residential zone, residential property - Rule 16.7.1.4</p> <p>ii. For Rule 16.4.8.2.2, Landscaped areas – Rule 16.7.1.7</p> <p>iii. For Rule 16.4.8.2.2, Landscaping in the Industrial General Zone (Trents Road) – Rule 16.7.3.6.1</p> <p>iv. Stormwater management – Rule 16.7.3.6.2</p> <p>v. Roding and access – Rule 16.7.3.6.3</p>

16.4.8.1.4 Area-specific discretionary activities

- a. The activities listed below are discretionary activities.

D1	Any activity that does not meet the built form standards in Rule 16.4.8.2.3 .
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16.4.8.1.5 Area-specific non-complying activities

There are no non-complying activities.

16.4.8.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.4.8.2 Area-specific built form standards – Industrial General Zone (Trents Road)**16.4.8.2.1** Minimum building setback from the boundary with adjoining zones

- a. The minimum **building setback** shall be as follows:

	Applicable to:	Standard
i.	Any site adjoining the north eastern boundary of the Zone, as specified on the outline development plan in Appendix 16.8.6 (refer to 'Building Setbacks').	15 metres
ii.	Any sites adjoining the south-eastern boundary of the Zone, as specified on the outline development plan in Appendix 16.8.6 (refer to 'Building Setbacks').	20 metres
iii.	Industrial activity on sites adjoining a residential zone as specified on the outline development plan in Appendix 16.8.6 (refer to 'Building Setback Exemption').	25 metres
iv.	Ancillary retail activities, ancillary offices, commercial services and gymnasium on sites adjoining a residential zone.	10 metres
v.	Setback from other internal boundaries of the outline development plan area as specified on the outline development plan in Appendix 16.8.6 (refer to 'Building Setbacks').	6 metres

- b. Any application arising from this rule shall not be publicly notified.

16.4.8.2.2 Landscaped areas and amenity

- a. In addition to the **landscaping** requirements in Rule 16.4.2.6, the following shall also be provided:

	Standard
i.	A minimum of 10% of a site shall be set aside as a landscaped area .
ii.	Any development on a site adjoining one or more of the following boundaries shall include a landscaping strip along that boundary with a minimum width as prescribed below and as specified on the outline development plan in Appendix 16.8.6 : <ul style="list-style-type: none"> A. north-eastern boundary with the Residential Suburban Zone and Selwyn District: 10 metres; B. south-eastern boundary with Selwyn District: 15 metres; C. either side of the northern most Trents Road access to the Zone: 2 metres; D. along the remaining Zone boundary, except vehicle crossings: 5 metres; E. along the frontages of all internal roads within the zone and all internal private roads open to the public within the zone, whether vested in the Council or not, except vehicle crossings: 1.5 metres.
iii.	Any proposed fence on the boundary of a site adjoining the boundary with Selwyn District Council (as shown on the outline development plan in Appendix 16.8.6 as 'Post and Wire Fencing requirement') shall be a post and wire fence, except across vehicle crossings.
iv.	Existing vegetation as marked on the outline development plan in Appendix 16.8.6 as 'Existing vegetation to be retained' shall be maintained.

- b. Any application arising from this rule shall not be publicly notified.

16.4.8.2.3 Noise mitigation

	Standard
a.	i. Any development on a site with a boundary shown on the outline development plan in Appendix 16.8.6 as 'Noise Control Fencing Requirement' shall include a fence along that boundary with a minimum height of 1.8 metres. The fence shall be constructed from solid surface materials with a minimum surface mass of 10kg/m ² , built and maintained free of gaps (including under the fence), cracks or holes.

	Standard
	ii. This shall be completed prior to a Code of Compliance being issued under the Building Act for any development within 30 metres of the boundary of the adjoining Residential Suburban Zone.
b.	Any application arising from this rule shall not be publicly notified.

16.4.8.2.4 Stormwater management

	Standard
a.	Any stormwater generated by an activity shall be treated and discharged to ground within the outline development plan area identified in Appendix 16.8.6 unless specified below.
b.	There shall be no discharge to surface water from any site for all events up to the critical duration 2% annual exceedance probability event.
c.	Any application arising from this rule shall not be publicly notified.

Advice note:

- a. Stormwater facilities shall be incorporated into any development to achieve effective stormwater management and to protect groundwater. The stormwater facilities, which support multiple values such as stormwater retention, water quality treatment, biodiversity enhancement, Ngāi Tahu/ mana whenua values and landscape amenity, should be incorporated into **landscaped areas**, where practicable, to achieve effective stormwater management and the protection of groundwater in an integrated manner. Stormwater treatment **sites** or treatment facilities should be separated from natural waterways with vegetated buffers to ensure stormwater is treated before it is discharged into natural waterways or natural **wetlands**.

16.4.8.2.5 Roading and access

	Standard
a.	Road connections:

	Standard
	<p>i. There shall be no development, preceding subdivision, within the outline development plan area defined in Appendix 16.8.6 unless the southern-most road connection with Trents Road as marked on the outline development plan is completed prior to, or in conjunction with, the development.</p> <p>ii. Any activity shall only access Trents Road by way of the two vehicle access points defined on the outline development plan in Appendix 16.8.6, comprising:</p> <p>A. a northern road connection provided it is designed and with signage to limit its use to vehicles entering the zone (as shown on the outline development plan in Appendix 16.8.6); and</p> <p>B. a southern road connection provided it is designed and with signage to limit its use to vehicles exiting the zone (as shown on the outline development plan in Appendix 16.8.6).</p> <p>iii. Any activity shall only access Main South Road by way of the one vehicle access point defined on the outline development plan in Appendix 16.8.6, and comprising a road designed, and with signage displayed, to restrict vehicle movements to light vehicles and to left entry into the zone and left exit out of the zone as shown on the outline development plan in Appendix 16.8.6.</p>
b.	<p>Internal road within the zone:</p> <p>i. There shall be no development, preceding subdivision, within the outline development plan area in Appendix 16.8.6 unless the internal road shown on the outline development plan in Appendix 16.8.6 as 'Indicative internal roading/access way layout', including a footpath along one side of the internal road, is completed prior to, or in conjunction with, the development.</p>
c.	Any application arising from this rule shall not be publicly notified.

16.4.9 Area-specific rules - Industrial General Zone (South West Hornby)

- a. The following rules and the South West Hornby Industrial Area Outline Development Plan ([Appendix 16.8.8](#)) shall apply to the Industrial General Zone (South West Hornby). All activities specified are also subject to the rules in [16.4.1](#) (Activity status tables) and [16.4.2](#) (Built form standards) unless specified otherwise in [16.4.9](#).

16.4.9.1 Area-specific activities – Industrial General Zone (South West Hornby)

16.4.9.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial General Zone (South West Hornby) if they meet the activity specific standards set out in this table.

Activity		Activity specific standards
P1	Activities listed in Rule 16.4.1.1 P1-P21	<p>a. Development shall comply with:</p> <p>i. The key structuring element on the South West Hornby Industrial Area Outline Development Plan (Appendix 16.8.8), being:</p> <p>A. Collector Road</p> <p>ii. Built form standards in Rule 16.4.2.</p>
P2	Key structuring element identified on the outline development plan in Appendix 16.8.8 .	<p>a. Development is to be in accordance with the key structuring element on the South West Hornby Industrial Area Outline Development Plan (Appendix 16.8.8), as identified in Rule 16.4.9.1.1 P1.</p>

16.4.9.1.2 Area-specific controlled activities

There are no controlled activities.

16.4.9.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rule 16.7.3.7](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any development not complying with a key structuring element on the outline development plan in Appendix 16.8.8.</p> <p>b. Any application arising from this rule</p>	<p>a. Industrial General Zone (South West Hornby) – Rule 16.7.3.7</p>

	Activity	The Council's discretion shall be limited to the following matters:
	shall not be publicly notified.	

16.4.9.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.4.9.1.5 Area-specific non-complying activities

There are no non-complying activities.

16.4.9.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.5 Rules – Industrial Heavy Zone

16.5.1 Activity status tables – Industrial Heavy Zone

16.5.1.1 Permitted activities

- The activities listed below are permitted activities in the Industrial Heavy Zone if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.5.2](#). Note, the built form standards do not apply to an activity that does not involve any development.
- Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited as specified in [Rules 16.5.1.2](#), [16.5.1.3](#), [16.5.1.4](#), [16.5.1.5](#) and [16.5.1.6](#).
- The activities listed below include any associated [landscaping](#), [access](#), [parking area](#), [loading](#), waste management and other hard standing areas.

Activity		Activity specific standards
P1	Any new building or addition to a building for any activity listed in Rule 16.5.1.1 P2 to P18.	Nil
P2	Industrial activity	
P3	Heavy industrial activity	

P4	Warehousing and distribution activities	
P5	High technology industrial activity	
P6	Service industry	
P7	Trade and industry training activity	
P8	Ancillary retail activity, unless specified below	<p>a. Any ancillary retail activity shall:</p> <ul style="list-style-type: none"> i. occupy no more than 250m² or 25% of the GFA of all buildings on the same site, whichever is the lesser; and ii. be limited to the display and sale of goods produced, processed or stored on the site.
P9	Food and beverage outlet	Nil
P10	Service station	
P11	Ancillary office	<p>a. Any ancillary offices shall occupy no more than 500m² or 30% of the GFA of all buildings on the same site, whichever is the lesser, or for yard based activities, shall occupy no more than 250m² of floor area on the whole site.</p>
P12	Public transport facility	Nil
P13	Emergency service facilities	
P14	Parking lots and parking buildings	
P15	Gymnasium	
P16	Poultry hatchery	
P17	Bulk fuel supply infrastructure	
P18	Community corrections facility	
P19	Commercial film or video production	

16.5.1.2 Controlled activities

There are no controlled activities.

16.5.1.3 Restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [16.7.1](#) and [16.7.2](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.5.1.1 P1-P18 and Rule 16.5.1.3 RD2 that does not meet one or more of the built form standards in Rule 16.5.2, unless otherwise specified.</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <ol style="list-style-type: none"> i. Maximum height of buildings and fencing or screening structure – Rule 16.7.1.1 ii. Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3 iii. Minimum building setback from the boundary with a residential zone, residential property – Rule 16.7.1.4 iv. Sunlight and outlook at boundary with a residential zone, residential property and road – Rule 16.7.1.5 v. Outdoor storage of materials – Rule 16.7.1.6 vi. Landscaped areas – Rule 16.7.1.7 vii. Water supply for firefighting – Rule 16.7.1.9 viii. For Rule 16.5.2.8, Outdoor storage of materials - Rule 16.7.1.6 a, c. and d.
RD2	<ol style="list-style-type: none"> a. Any activity listed in Rule 16.5.1.1 P8 and P11 that does not meet one or more of the activity specific standards. b. Any application arising from 	<ol style="list-style-type: none"> a. Display of goods, showroom and non-industrial activities - Rule 16.7.2.1.

	Activity	The Council's discretion shall be limited to the following matters:
	this rule shall not be limited or publicly notified.	

16.5.1.4 Discretionary activities

- a. The activities listed below are discretionary activities.

	Activity
D1	Commercial services
D2	The processing of quarried materials by screening, crushing, washing and/or mixing with additive materials.

16.5.1.5 Non complying activities

- a. The activities listed below are non-complying activities.

	Activity
NC1	Any activity not provided for as a permitted, controlled, restricted discretionary, discretionary or prohibited activity.
NC2	[Removed]
NC3	<p>a. Sensitive activities</p> <ul style="list-style-type: none"> i. within 12 metres of the centre line of a 220kV National Grid transmission line or within 12 metres of the foundation of an associated support structure. ii. within 10 metres of the centre line of a 66 kV electricity distribution line or within 10 metres of a foundation of an associated support structure. iii. within 5 metres of the centre line of a 33 kV electricity distribution line or within 5 metres of a foundation of an associated support structure. <p>b. Buildings on greenfield sites</p> <ul style="list-style-type: none"> i. within 12 metres of the centre line of a 220kV National Grid transmission line or within 12 metres of the foundation of an associated support structure

	Activity
	<p>structure.</p> <ul style="list-style-type: none"> ii. within 10 metres of the centre line of a 66 kV electricity distribution line or within 10 metres of a foundation of an associated support structure. iii. within 5 metres of the centre line of a 33 kV electricity distribution line or within 5 metres of a foundation of an associated support structure. <p>c. Buildings, other than those in (b) above,</p> <ul style="list-style-type: none"> i. within 12 metres of the foundation of an 220 kV National Grid transmission support structure. ii. within 10 metres of the foundation of a 66 kV electricity distribution support structure. iii. within 5 metres of the foundation of a 33 kV electricity distribution support structure. <p>d. Fences within 5 metres of a National Grid transmission line support structure foundation or 5 metres of a 66 kV and 33 kV electricity distribution support structure foundation.</p> <p>e. Any application made in relation to this rule shall not be publicly notified, and shall, absent written approval, be limited notified only to Transpower New Zealand Limited and/or Orion New Zealand Limited or other electricity distribution network operator.</p> <p>Advice notes:</p> <ol style="list-style-type: none"> 1. The National Grid transmission lines and 66 kV and 33 kV electricity distribution lines are shown on the planning maps. 2. Vegetation to be planted around the National Grid or electricity distribution lines should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003. 3. The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to National Grid transmission lines and electricity distribution lines. Buildings and activity in the vicinity of National Grid transmission lines or electricity distribution lines must comply with the NZECP 34:2001.
NC4	Residential activity, health care facility, education activity, preschool, guest accommodation

	Activity
NC5	Any activity within the area defined by the overlay on the planning maps as "Areas subject to wastewater discharge restrictions", which results in daily average sewage flows from a site to the Council's reticulated network exceeding 0.09 l/s/ha.

16.5.1.6 Prohibited activities

There are no prohibited activities.

16.5.2 Built form standards - Industrial Heavy Zone

- a. The following built form standards shall be met by all permitted activities and restricted discretionary activity RD2 unless otherwise stated.

16.5.2.1 Maximum height for buildings

- a. The maximum height of any building within 20 metres of a residential or rural zone shall be 15 metres.
- b. Any application arising from this rule shall not be publicly notified.

16.5.2.2 Minimum building setback from road boundaries/ railway corridor

- a. The minimum building setback from road boundaries and rail corridor boundaries shall be as follows:

	Applicable to:	Standard
i.	Any activity unless specified below	1.5 metres
ii.	Any activity fronting an arterial road or opposite a residential zone, unless specified below	3 metres
iii.	Buildings, balconies and decks on sites adjacent to or abutting railway line	4 metres from the rail corridor boundary

- b. Any application arising from this rule (other than clause iii.) shall not be limited or publicly notified.

- c. Any application arising from clause iii. of this rule shall not be publicly notified and shall be limited notified only to KiwiRail (absent its written approval).

16.5.2.3 Minimum building setback from the boundary with a residential zone

- a. The minimum **building setback** from the **boundary** with a residential zone shall be as follows:

	Applicable to:	Standard
i.	All sites which share a boundary with a residential zone, other than specified in ii.	3 metres
ii.	Sites adjoining the residential zone at Wigram	Nil

- b. Any application arising from this rule shall not be publicly notified.

16.5.2.4 Sunlight and outlook at boundary with a residential zone

	Applicable to:	Standard
a.	All sites which share a boundary with a residential zone, other than those adjoining the residential zone at Wigram	a. Where an internal site boundary adjoins a residential zone, no part of any building shall project beyond a building envelope contained by a 60° recession plane measured at any point 2.3 4.0 metres above the internal boundary in accordance with the diagrams in Appendix 16.8.11 , unless specified below.
b.	All sites within the Brownfield Overlay which share a boundary with a residential zone	a. Where an internal site boundary adjoins a residential zone, no part of any building shall project a building envelope contained by a 60° recession plane measured at any point 4 metres above the internal boundary.

- ~~c.~~ ~~b.~~ Where **sites** are located within a **Flood Management Area**, recession plane breaches created by the need to raise floor levels shall not be publicly or limited notified.

- ~~d.~~ ~~e.~~ Any application arising from this rule shall not be publicly notified.

16.5.2.5 Outdoor storage of materials

- a. Any **outdoor storage area** shall be screened by **landscaping**, fencing or other screening to a minimum of 1.8 metres in **height** from any **adjoining** residential zone.

- b. Any application arising from this rule shall not be limited or publicly notified, except where the **adjoining** zone is residential.

16.5.2.6 Landscaped areas

- a. **Landscaping** and trees shall be provided as follows:

	Standard
i.	<p>A. The road frontage of all sites opposite a residential zone or listed below shall have a landscaping strip with a minimum width of 1.5 metres, and minimum of 1 tree for every 10 metres of road frontage or part thereof:</p> <p>I. Land adjoining Main South Road between Marshs Road and Halswell Junction Road; and</p> <p>II. Land at Chaney's, north of Main North Road, between State Highway 1 and the railway line</p> <p>B. This standard shall not apply to an emergency service facility or vehicle access to any site.</p>
ii.	<p>The road frontage of all sites opposite a rural zone shall have a landscaping strip in accordance with the following standards:</p> <p>A. minimum width – 10 metres, except for sites in the Industrial Heavy Zone (Sir James Wattie Drive) adjoining Marshs Road to the east of the Southern Motorway designation where the minimum width is 6 metres.</p> <p>B. minimum density of tree planting – 1 tree for every 10 metres of road frontage or part thereof.</p>
iii.	<p>On sites adjoining a residential zone, trees shall be planted adjacent to the shared boundary at a ratio of at least 1 tree for every 10 metres of the boundary or part thereof, with the trees evenly spaced along that boundary.</p>
iv.	<p>All landscaping/trees required for these rules shall be in accordance with the provisions in Appendix 6.11.6 of Chapter 6.</p>
v.	<p>On the land legally described as Lot 3, DP 49632 (330 Springs Road) the existing line of eucalyptus trees along the southern boundary of the site shall be retained.</p>

- b. Any application arising from clause (a)(ii) of this rule shall not be limited or publicly notified.

Advice notes:

- a. Vegetation in close proximity to the **electricity transmission** network will need to be planted and managed in accordance with the [Electricity \(Hazards from Trees\) Regulations 2003](#).

- b. Stormwater facilities shall be incorporated into any development to achieve effective stormwater management and to protect groundwater. The stormwater facilities, which support multiple values such as stormwater retention, water quality treatment, biodiversity enhancement, Ngāi Tahu/ mana whenua values and landscape amenity, should be incorporated into **landscaped areas**, where practicable, to achieve effective stormwater management and the protection of groundwater in an integrated manner. Stormwater treatment **sites** or treatment facilities should be separated from natural waterways with vegetated buffers to ensure stormwater is treated before it is discharged into natural waterways or natural **wetlands**.

16.5.2.7 Water supply for fire fighting

- a. Provision for sufficient water supply and access to water supplies for firefighting shall be made available to all **buildings** via **Council's** urban reticulated system (where available) in accordance with the [New Zealand Fire Service Firefighting Water Supplies Code of Practice \(SNZ PAS: 4509:2008\)](#).
- b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to New Zealand Fire Service Commission (absent its written approval).

16.5.2.8 Visual amenity and screening

- a. Where a **site** adjoins an Open Space, Specific Purpose (Cemetery) or Specific Purpose (Tertiary Education) Zone, provision shall be made for landscaping, fence(s), wall(s) or a combination to at least 1.8 metres in **height** along the length of the zone **boundary**, excluding any **road frontages**. Where **landscaping** is provided, it shall be continuous and for a minimum depth of 1.5 metres along the zone **boundary**.
- b. Any application arising from this rule shall not be limited or publicly notified.

16.5.3 Area-specific rules – Industrial Heavy Zone (Sir James Wattie Drive)

- a. The following rules and the Sir James Wattie Drive Outline Development Plan ([Appendix 16.8.7](#)) shall apply to the Industrial Heavy Zone (Sir James Wattie Drive). All activities specified are also subject to the rules in [16.5.1](#) (Activity status tables) and [16.5.2](#) (Built form standards) unless specified otherwise in [16.5.3](#).

16.5.3.1 Area-specific activities – Industrial Heavy Zone (Sir James Wattie Drive)

16.5.3.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial Heavy Zone (Sir James Wattie Drive) if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.5.3.2](#).

Activity		Activity specific standards
P1	Activities listed in Rule 16.5.1.1 P1-P18, subject to the completion of the upgrade of the intersection of Shands Road and Sir James Wattie Drive (Refer to Rule 16.5.3.1.5 NC2 for development preceding completion of the upgrade)	<ul style="list-style-type: none"> a. Development shall comply with: <ul style="list-style-type: none"> i. All of the following key structuring elements on the Sir James Wattie Drive Outline Development Plan (Appendix 16.8.7), being: <ul style="list-style-type: none"> A. Access ii. Built form standards in Rule 16.5.3.2 and 16.5.2.
P2	Key structuring elements identified on the outline development plan in Appendix 16.8.7 .	<ul style="list-style-type: none"> a. Development is to be in accordance with the following key structuring elements on the outline development plan, being: <ul style="list-style-type: none"> i. Access

16.5.3.1.2 Area-specific controlled activities

There are no controlled activities.

16.5.3.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1](#), [16.7.2](#) and [16.7.3.8](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.5.1.1 P1-P18 that does not meet one or more of the built form standards in Rule 16.5.3.2.</p> <p>Advice note:</p> <p>1. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <p>i. For Rule 16.5.3.2.1 a.i. and ii., Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3</p> <p>ii. For Rule 16.5.3.2.1 a.i., Setback from Marshs Road – Rule 16.7.3.8.2</p> <p>iii. Landscaped areas – Rule 16.7.1.7</p>
RD2	<p>a. Any development not complying with a key structuring element on the outline development plan in Appendix 16.8.7.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Outline development plan – Rule 16.7.3.8.1</p>

16.5.3.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.5.3.1.5 Area-specific non-complying Activities

a. The activities listed below are non-complying activities.

	Activity
NC1	[Removed]
NC2	Any development within the area covered by the Outline Development Plan (Sir James Wattie Drive) in Appendix 16.8.7 until the upgrade of the intersection of Shands Road and Sir James Wattie Drive is completed by way of a roundabout or traffic lights.
NC3	Any site access directly onto that part of Marshs Road west of the Southern Motorway designation or Shands Road.

16.5.3.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.5.3.2 Area-specific built form standards – Industrial Heavy Zone (Sir James Wattie Drive)

16.5.3.2.1 Minimum building setback from road boundaries

a. The minimum **building setback** from **road boundaries** shall be as follows:

	Applicable to:	Standard
i.	Sites adjoining Marshs Road to the east of the Southern Motorway designation	6 metres
ii.	Sites adjoining the designation for the Southern Motorway	6 metres

b. Any application arising from this rule shall not be publicly notified.

16.5.3.2.2 Landscaped areas

a. The **building setback** from the designation for the Southern Motorway required under Rule [16.5.3.2.1 ii.](#) shall contain a **landscaping strip** with a minimum width of 1.5 metres, and minimum of 1 tree for every 10 metres of **road frontage** or part thereof.

b. Any application arising from this rule shall not be publicly notified.

16.5.4 Area-specific rules - Industrial Heavy Zone (South West Hornby)

a. The following rules and the South West Hornby Industrial Area Outline Development Plan ([Appendix 16.8.8](#)) shall apply to the Industrial Heavy Zone (South West Hornby Industrial Area). All activities specified are also subject to the rules in [16.5.1](#) (Activity status tables) and [16.5.2](#) (Built form standards) unless specified otherwise in [16.5.4](#).

16.5.4.1 Area-specific activities – Industrial Heavy Zone (South West Hornby)

16.5.4.1.1 Area-specific permitted activities

a. The activities listed below are permitted activities in the Industrial Heavy Zone (South West Hornby) if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.5.4.2](#).

Activity		Activity specific standards
P1	Activities listed in Rule 16.5.1.1 P1-P18 .	<p>a. Development shall comply with:</p> <p>i. all of the key structuring elements on the South West Hornby Outline Development Plan (Appendix 16.8.8), being:</p> <p>A. Collector Road</p> <p>B. Minor Arterial Road.</p> <p>ii. Built form standards in Rule 16.5.4.2, and Rule 16.5.2 unless specified otherwise in Rule 16.5.4.2.</p>
P2	<p>a. Within the area identified as 'rural wastewater irrigation area' on the outline development plan (Appendix 16.8.8), rural activities permitted in the Rural Urban Fringe Zone and the irrigation of water from industrial processes.</p> <p>b. Rural activities and irrigation of water from industrial processes are not required to comply with Rule 16.5.4.1.1 P1.</p>	<p>a. Compliance with the Rural Urban Fringe Zone built form standards.</p> <p>b. Any rural activity that does not comply with the Rural Urban Fringe Zone built form standards is subject to the subsequent Rural Urban Fringe Zone rules relating to those standards.</p>
P3	Key structuring elements identified on the outline development plan in Appendix 16.8.8 .	<p>a. Development is to be in accordance with the key structuring elements on the South West Hornby Outline Development Plan (Appendix 16.8.8), as identified in Rule 16.5.4.1.1 P1.</p>

16.5.4.1.2 Area-specific controlled activities

There are no controlled activities.

16.5.4.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1](#), [16.7.2](#) and [16.7.3.9](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any development within the Industrial Heavy Zone (South West Hornby) south west of the area identified as 'rural wastewater irrigation area' on the outline development plan in Appendix 16.8.8 until the construction (being physical works) of the intersection of Shands Road and the southern spine road (marked as 'A' on outline development plan in Appendix 16.8.8) including traffic signals has commenced.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Roading and access - Rule 16.7.3.9.4</p>
RD2	[Removed]	
RD3	<p>a. Any development (excluding rural activities and irrigation of water from industrial processes) within the area shown as 'rural wastewater irrigation area' on the outline development plan in Appendix 16.8.8 until:</p> <p>i. The full southern spine road between Main South Road and Shands Road (marked as 'C' on the outline development plan in Appendix 16.8.8) has been constructed and is open to traffic; and</p> <p>ii. Capacity upgrades have commenced at the following intersections:</p> <p>A. Intersection of the southern spine road and Shands Road (marked as 'A' on outline development plan in Appendix 16.8.8)</p> <p>B. Intersection of the northern</p>	

	Activity	The Council's discretion shall be limited to the following matters:
	<p>spine road and Shands Road (marked as 'B' on outline development plan in Appendix 16.8.8).</p> <p>b. Any application arising from this rule shall not be publicly notified.</p> <p>c. Information requirement for RD3: A full Integrated Transport Assessment shall be completed and included in the application.</p>	
RD4	<p>a. Any site access directly onto Marshs Road.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	
RD5	<p>a. Any activity listed in Rule 16.5.4.1.1 P1- P2 that does not meet one or more of the built form standards in Rule 16.5.4.2.</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <ul style="list-style-type: none"> i. Maximum height of buildings and fencing or screening structure – Rule 16.7.1.1 ii. For Rule 16.5.4.2.2, Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3 iii. For Rule 16.5.4.2.2 and 16.5.4.2.3 a., Setback from boundaries adjoining rural zone - Rule 16.7.3.9.2 iv. For Rule 16.5.4.2.3, Minimum building setback from the boundary with a residential zone, residential property – Rule 16.7.1.4 v. For Rule 16.5.4.2.4, Landscaped areas – Rule 16.7.1.7 vi. For Rule 16.5.4.2.4, Landscaping at rural urban interface – Rule 16.7.3.9.3

	Activity	The Council's discretion shall be limited to the following matters:
RD6	<p>a. Any development not complying with a key structuring element on the outline development plan in Appendix 16.8.8.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Outline development plan – Rule 16.7.3.9.1</p>

16.5.4.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.5.4.1.5 Area-specific non-complying activities

- a. The activities listed below are non-complying activities.

	Activity
NC1	Any activity within the area defined by the overlay on the planning maps as "Area subject to wastewater discharge restrictions" which results in the daily average sewage flow from a site exceeding 0.09l/s/ha, excluding wastewater that is discharged to ground in the 'rural wastewater irrigation area' on the outline development plan (Appendix 16.8.8).
NC2	Any site access directly onto Shands Road or Main South Road.

16.5.4.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.5.4.2 Area-specific built form standards – Industrial Heavy Zone (South West Hornby)

16.5.4.2.1 Maximum height for buildings

- a. The maximum **height** of any **building** within 20 metres of the rural zone boundary and the Marshs Road **road boundary** shall be 10 metres.
- b. Any application arising from this rule shall not be publicly notified.

16.5.4.2.2 Minimum building setback from road boundaries

- a. The minimum **building setback** from **road boundaries** shall be as follows:

	Applicable to:	Standard
i.	Office buildings and Parking buildings on sites with frontage to Marshs Road	10 metres
ii.	All other buildings not provided for in clause (i).	20 metres

- b. Any application arising from this rule shall not be publicly notified.

16.5.4.2.3 Minimum building setback from the south west boundary and residential properties

- a. The minimum **building setback** from a **boundary** with a rural zone and from residential properties shall be as follows:

	Applicable to:	Standard
i.	A. Sites with a boundary adjoining the rural zone. B. This rule shall not apply to sites adjoining the land identified on the outline development plan in Appendix 16.8.8 as 'rural wastewater irrigation area'.	10 metres
ii.	A. Sites adjoining Lot 1 DP64487 (until the existing residential activity ceases - following which no setback shall apply). B. Clause (ii) shall only apply until 30 March 2026 at which time the rule shall no longer apply.	20 metres

- b. Any application arising from this rule shall not be publicly notified.

16.5.4.2.4 Landscaped areas

- a. **Landscaping** and trees shall be provided as follows:

	Standard
i.	The setback from Marshs Road and the rural zone required under Rules 16.5.4.2.2 and 16.5.4.2.3 a. shall comprise a landscaping strip of a depth equivalent to the setback , comprising:

	Standard
	<p>A. Two rows of trees, staggered in a manner that one row is off-set from the other row.</p> <p>B. Trees shall be spaced 10 metres apart in each row.</p> <p>C. The trees used in the landscaping strip shall comprise one or more of the following species: <i>Podocarpus totara</i> – totara, <i>Hoheria angustifolia</i> – houhere/ narrow-leaved lacebark, <i>Plagianthus regius</i> – manatu/ lowland ribbonwood.</p> <p>D. The existing shelterbelt on the Marshs Road frontage shall be retained until trees required under clause ii. are 6 metres in height.</p> <p>E. Shrubs shall be planted between the two rows of trees, using the species listed in Appendix 6.11.6 of Chapter 6, Section 3.</p> <p>F. The requirements of Appendix 6.11.6 of Chapter 6, Part A shall apply.</p> <p>G. Maintenance of the landscaping strip shall be undertaken for a period of no less than 5 years from the date of planting.</p>

- b. Any application arising from this rule shall not be publicly notified.

16.5.5 Area-specific rules - Industrial Heavy Zone (Springs Road)

- a. The following rules and the Industrial Heavy Zone (Springs Road) Outline Development Plan ([Appendix 16.8.13](#)) shall apply to the Industrial Heavy Zone (Springs Road). All activities specified are also subject to the rules in [16.5.1](#) (Activity status tables) and [16.5.2](#) (Built form standards) unless specified otherwise in [16.5.5](#).

16.5.5.1 Area-specific activities - Industrial Heavy Zone (Springs Road)

16.5.5.1.1 Area-specific permitted activities

There are no permitted activities.

16.5.5.1.2 Area-specific controlled activities

There are no controlled activities.

16.5.5.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.

- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rule 16.7.3.10](#), and as specified in the following table.

Activity		The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.5.1.1 P1-P18 that does not meet one or more of the built form standards in Rule 16.5.5.2.</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. Minimum building setback from road boundaries/ railway corridor - Rule 16.7.1.3.</p> <p>b. Landscaping on boundaries adjoining the Southern Motorway - Rule 16.7.3.10.1.</p>
RD2	Any new road to Springs Road in the location marked on the outline development plan in Appendix 16.8.13 as "Road access to Springs Road".	a. Road access to Springs Road - Rule 16.7.3.10.2 .

16.5.5.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.5.5.1.5 Non-complying activities

- a. The activities listed below are non-complying activities.

	Activity
NC1	Any direct site access to Springs Road.
NC2	Any new road to Springs Road in locations other than as marked on the outline development plan in Appendix 16.8.13 as "Road access to Springs Road".
NC3	[Removed]

16.5.5.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.5.5.2 Area-specific built form standards – Industrial Heavy Zone (Springs Road)

16.5.5.2.1 Minimum building setback from the Southern Motorway

- a. The minimum **building setback** from a **road boundary** with the “Christchurch Southern Motorway Stage 2 Designation”, as marked on the outline development plan in [Appendix 16.8.13](#), shall be 10 metres.
- b. Any application arising from this rule shall not be limited or publicly notified.

16.5.5.2.2 Landscaping adjoining the Southern Motorway

- a. The **setback** required under Rule 16.5.5.2.1 above shall be landscaped with one tree per 10 metres of **road frontage** or part thereof.
- b. Any application arising from this rule shall not be limited or publicly notified.

16.6 Rules – Industrial Park Zone

16.6.1 Activity status tables – Industrial Park Zone

16.6.1.1 Permitted activities

- a. The activities listed below are permitted activities in the Industrial Park Zone if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.6.2](#). Note, the built form standards do not apply to an activity that does not involve any development.
- b. Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited, as specified in [Rules 16.6.1.2](#), [16.6.1.3](#), [16.6.1.4](#), [16.6.1.5](#) and [16.6.1.6](#).
- c. The activities listed below include any associated **landscaping, access, parking areas, loading, waste management areas** and other hard standing areas.

Activity		Activity specific standards
P1	Any new building or addition to a building for any activity listed in Rule 16.6.1.1 P2 to P18.	Nil
P2	Industrial activity	Nil

P3	Warehousing and distribution activities	
P4	High technology industrial activity	Nil
P5	Service industry	
P6	Trade and industry training activity	
P7	Ancillary retail activity	<p>a. Any ancillary retail activity shall:</p> <ul style="list-style-type: none"> i. occupy no more than 250m² or 25% of the GFA of all buildings on the same site, whichever is the lesser; and ii. have visually transparent glazing on the ground floor elevation facing the road for a minimum of 20% of that elevation where goods are displayed for sale within the building and the retail activity fronts the road. iii. be limited to the display and sale of goods produced, processed or stored on the site.
P8	Food and beverage outlet	Nil
P9	Service station	
P10	Commercial services	a. Commercial services within the Industrial Park Zone (Memorial Avenue) shall be limited to a total GLFA of 8,200m ²
P11	[Relocated]	[Relocated]
P12	Ancillary office	<p>a. Any ancillary offices shall:</p> <ul style="list-style-type: none"> i. occupy no more than 500m² or 30% of the GFA of all buildings on the same site, whichever is the lesser; and ii. have visually transparent glazing on the ground floor elevation facing the road for a minimum of 20% of that

		elevation where the office fronts the road.
P13	Public transport facility	Nil
P14	Emergency service facilities	
P15	Gymnasium	
P16	Preschool outside the 50 dB _{Ldn} Air Noise Contour.	
P17	Parking lots and parking buildings	
P18	Community corrections facility	
P19	Commercial film or video production	Nil

16.6.1.2 Controlled activities

- a. There are no controlled activities.

16.6.1.3 Restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in Rule 16.7.1 and 16.7.2, as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	a. Any activity listed in Rule 16.6.1.1 P1-P18 and Rule 16.6.1.3 RD2 that does not meet one or more of the built form standards	a. As relevant to the built form standard that is not met: <ul style="list-style-type: none"> i. Maximum height of buildings and fencing or screening structure – Rule 16.7.1.1

	Activity	The Council's discretion shall be limited to the following matters:
	<p>in Rule 16.6.2, unless otherwise specified.</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provision regarding notification.</p>	<p>ii. Maximum building coverage of a site – Rule 16.7.1.2</p> <p>iii. Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3</p> <p>iv. Minimum building setback from the boundary with a residential zone, residential property – Rule 16.7.1.4</p> <p>v. Sunlight and outlook at boundary with a residential zone, residential property and road – Rule 16.7.1.5</p> <p>vi. Outdoor storage of materials – Rule 16.7.1.6</p> <p>vii. Landscaped areas – Rule 16.7.1.7</p> <p>viii. Water supply for firefighting – Rule 16.7.1.9</p>
RD2	Any activity listed in Rule 16.6.1.1 P7, P10, and P12 that does not meet one or more of the activity specific standards.	a. Display of goods, showroom and non-industrial activities – Rule 16.7.2.1

16.6.1.4 Discretionary activities

- a. The activities listed below are discretionary activities.

	Activity
D1	Any activity not provided for as a permitted, controlled, restricted discretionary, non-complying or prohibited activity.

16.6.1.5 Non-complying activities

- a. The activities listed below are non-complying activities.

	Activity
NC1	Heavy industrial activity
NC2	Sensitive activity inside the 50 dB Ldn Air Noise Contour as defined on the planning maps.
NC3	<p>a. Sensitive activities within 10 metres of the centre line of a 66kV electricity distribution line or within 10 metres of a foundation of an associated support structure.</p> <p>b. Buildings on greenfield sites within 10 metres of the centre line of a 66 kV electricity distribution line or within 10 metres of a foundation of an associated support structure.</p> <p>c. Buildings, other than those in (b) above, within 10 metres of the foundation of an associated support structure.</p> <p>d. Fences within 5 metres of a 66kV electricity distribution support structure foundation.</p> <p>e. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Orion New Zealand Limited or other electricity distribution network operator (absent its written approval).</p> <p>Advice notes:</p> <ol style="list-style-type: none"> 1. The 66kV electricity distribution lines are shown on the planning maps. 2. Vegetation to be planted around the electricity distribution lines should be selected and/or managed to ensure that it will not result in that vegetation breaching the Electricity (Hazards from Trees) Regulations 2003. 3. The New Zealand Electrical Code of Practice for Electrical Safe Distances (NZECP 34:2001) contains restrictions on the location of structures and activities in relation to electricity distribution lines. Buildings and activities in the vicinity of electricity distribution lines must comply with the NZECP 34:2001.
NC4	Any activity within the area defined by the overlay on the planning maps as "Area subject to wastewater discharge restrictions", which results in daily average sewage flows from a site to the Council's reticulated network exceeding 0.09 l/s/ha.

16.6.1.6 Prohibited activities

There are no prohibited activities.

16.6.2 Built form standards - Industrial Park Zone

- a. The following built form standards shall be met by all permitted activities and restricted discretionary activity RD2 unless otherwise stated.

16.6.2.1 Maximum height for buildings, fences and screening structures

- a. The maximum height of any building, fencing or screening structure shall be as follows:

	Applicable to:	Standard
i.	Buildings - all areas	15 metres
ii.	Fencing and screening structures located between any building and the road boundary	1.2 metres, or 2 metres where the whole of the structure is at least 50% visually transparent – refer to Figure 16.1 below

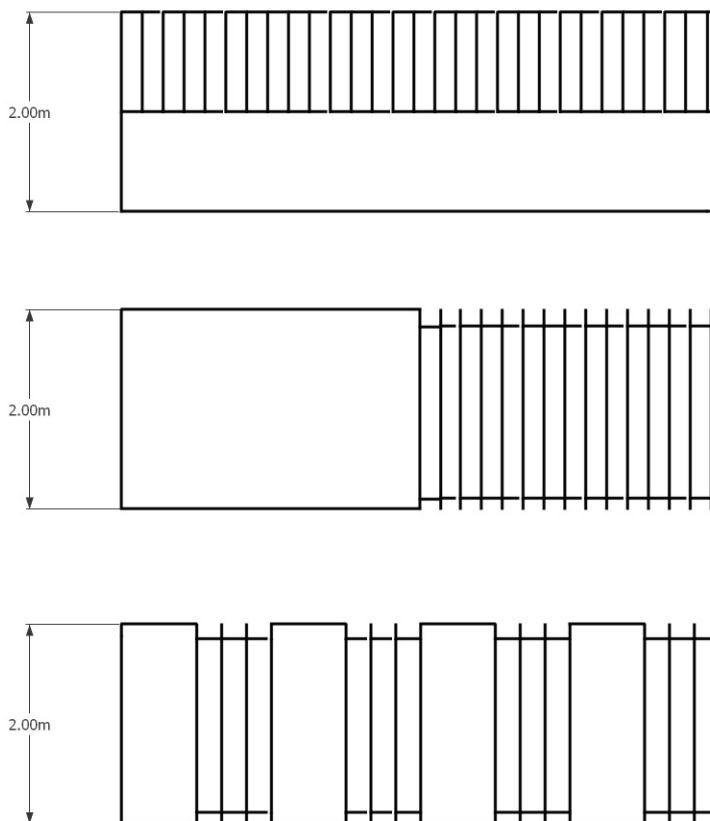


Figure 16.1: Examples of a structure/fence that is 50% visually transparent (being the top half of the first diagram, the right half of the second diagram, and every second section of the last diagram).

- b. Any application arising from this rule shall not be publicly notified.

16.6.2.2 Maximum building coverage of a site

- a. In all areas, the maximum percentage of the **net site area** covered by **buildings** shall be 50%.
- b. Any application arising from this rule shall not be limited or publicly notified.

16.6.2.3 Minimum building setback from road boundaries/ railway corridor

- a. The minimum **building setback** from **road boundaries** and rail corridor boundaries shall be as follows:

	Applicable to:	Standard
i.	Any activity unless specified in (ii) – (v) below	6 metres
ii.	Ancillary offices	1.5 metres
iii.	Service station canopies	3 metres
iv.	Sites with more than one road boundary	1.5 metres on one road boundary and 6 metres on any other road boundary
v.	Buildings, balconies and decks on sites adjacent to or abutting railway lines.	4 metres from the rail corridor boundary

- b. Any application arising from with this rule (other than clause v.) shall not be limited or publicly notified.
- c. Any application arising from clause v. of this rule shall not be publicly notified and shall be limited notified only to KiwiRail (absent its written approval).

16.6.2.4 Minimum building setback from the boundary with a residential zone

- a. The minimum **building setback** from the boundary with a residential zone shall be 6 metres.
- b. Any application arising from this rule shall not be publicly notified.

16.6.2.5 Sunlight and outlook at boundary with a residential zone

- a. Where an internal **site boundary** adjoins a residential zone no part of any **building** shall project beyond a **building** envelope contained by a recession plane measured at any point 2.3 metres above the internal **boundary** in accordance with the relevant diagram in [Appendix 16.8.11](#), **unless specified below**.

- b. ~~Within the Brownfield Overlay, where an internal site boundary adjoins a residential zone, no part of any building shall project beyond a building envelope contained by a 60° recession plane measured at any point 4 metres above the internal boundary.~~
- ~~bc.~~ Where sites are located within a Flood management area, recession plane breaches created by the need to raise floor levels shall not be limited or publicly notified.
- ~~cd.~~ Any application arising from this rule shall not be publicly notified.

16.6.2.6 Outdoor storage of materials/ car parking

	Standard
a.	<p>i. The outdoor storage of materials shall not be located within the minimum setbacks specified in Rule 16.6.2.3.</p> <p>ii. Any outdoor storage area shall be screened by landscaping, fencing or other screening to a minimum of 1.8 metres in height from any adjoining residential zone.</p>
b.	Parking spaces shall be provided to the side or rear of sites and not between buildings and the road, except for visitor parking.
c.	Any application arising from this rule shall not be limited or publicly, except where the adjoining zone is residential.

16.6.2.7 Landscaped areas

- a. Landscaping and trees shall be provided as follows:

	Standard
i.	The minimum percentage of the site to have landscaping shall be 10%, excluding those areas required to be set aside for trees within or adjacent to parking areas (refer to clause (iv) below).
ii.	<p>The area adjoining the road frontage of all sites shall have a landscaping strip in accordance with the following standards.</p> <p>A. Minimum width - 1.5 metres</p> <p>B. Minimum density of tree planting – 1 tree for every 10 metres of road frontage or part thereof.</p>

	Standard
iii.	On sites adjoining a residential zone, trees shall be planted adjacent to the shared boundary at a ratio of at least 1 tree for every 10 metres of the boundary or part thereof.
iv.	In addition to clauses (i), (ii) and (iii) above, where parking areas are located at the front of a site , 1 tree shall be planted for every 5 car parking spaces (or part thereof) within any car parking area .
v.	All landscaping / trees required for these rules shall be in accordance with the provisions in Appendix 6.11.6 of Chapter 6.
vi.	The built form standards in clauses (i) and (ii) shall not apply to emergency service facilities .

- b. Any application arising from clauses (a)(i), (a)(ii) and (a)(iii) of this rule shall not be limited or publicly notified.

Advice note:

- a. Vegetation in close proximity to the **electricity transmission** network will need to be planted and managed in accordance with the **Electricity (Hazards from Trees) Regulations 2003**.
- b. Stormwater facilities shall be incorporated into any development to achieve effective stormwater management and to protect groundwater. The stormwater facilities, which support multiple values such as stormwater retention, water quality treatment, biodiversity enhancement, Ngāi Tahu/ mana whenua values and landscape amenity, should be incorporated into **landscaped areas**, where practicable, to achieve effective stormwater management and the protection of groundwater in an integrated manner. Stormwater treatment **sites** or treatment facilities should be separated from natural waterways with vegetated buffers to ensure stormwater is treated before it is discharged into natural waterways or natural **wetlands**.

16.6.2.8 Water supply for fire fighting

- a. Provision for sufficient water supply and access to water supplies for firefighting shall be made available to all **buildings** via **Council's** urban reticulated system (where available) in accordance with the **New Zealand Fire Service Firefighting Water Supplies Code of Practice (SNZ PAS: 4509:2008)**.
- b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to New Zealand Fire Service Commission (absent its written approval).

16.6.3 Area-specific rules - Industrial Park Zone (Tait Campus)

- a. The following rules and the Tait Campus Outline Development Plan ([Appendix 16.8.9](#)) shall apply to the Industrial Park Zone (Tait Campus). All activities specified are also subject to the rules in [16.6.1](#) (Activity status tables) and [16.6.2](#) (Built form standards) unless specified otherwise in [16.6.3](#).

16.6.3.1 Area-specific activities – Industrial Park Zone (Tait Campus)

16.6.3.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial Park Zone (Tait Campus) if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.6.3.2](#).

Activity		Activity specific standards
P1	Activities listed in Rule 16.6.1.1 P1-P18	<p>a. Development shall comply with:</p> <ul style="list-style-type: none"> i. All of the key structuring elements on the Tait Campus Outline Development Plan (Appendix 16.8.9), being: <ul style="list-style-type: none"> A. Green Corridor B. Vehicular route to Stanleys block ii. Built form standards in Rule 16.6.3.2, and Rule 16.6.2 unless specified otherwise in Rule 16.6.3.2
P2	Key structuring elements identified on the outline development plan in Appendix 16.8.9 .	<p>a. Development is to be in accordance with all of the key structuring elements on the outline development plan, as identified in Rule 16.6.3.1.1 P1.</p>
P3	Offices	<p>a. Offices shall:</p> <ul style="list-style-type: none"> i. be limited to a total 5,000m²; ii. have visually transparent glazing on the ground floor elevation facing the road for a minimum of 20% of that elevation where the office activity fronts the road; iii. have a maximum tenancy size of 500m² GLFA.

16.6.3.1.2 Area-specific controlled activities

There are no controlled activities.

16.6.3.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1, 16.7.2 and 16.7.3.11](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.6.3.1.1 P1 that does not meet one or more of the built form standards in Rule 16.6.3.2.</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <ol style="list-style-type: none"> i. Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3 ii. For Rule 16.6.3.2.1, Open space and character - Rule 16.7.3.11.1 iii. For Rule 16.6.3.2.2, Landscaped areas – Rule 16.7.1.7 iv. For Rule 16.6.3.2.2, Landscaping – Rule 16.7.3.11.2 v. Stormwater management – Rule 16.7.3.11.6 vi. For Rule 16.6.3.2.4, Connectivity - Rule 16.7.3.11.3 vii. For Rule 16.6.3.2.4, Parking - Rule 16.7.3.11.4 viii. For Rule 16.6.3.2.4, Access - Rule 16.7.3.11.5
RD2	<p>a. Any development not complying with a key structuring element on the outline development plan in Appendix 16.8.9.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Matters of discretion in Rule 16.6.3.3.1 – Rule 16.7.3.11.5</p>

	Activity	The Council's discretion shall be limited to the following matters:
RD3	Any office activity that does not meet Rule 16.6.3.1.1 P3 (a)(ii) activity specific standards.	a. Display of good, showroom and non-industrial activities – Rule 16.7.2.1

16.6.3.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.6.3.1.5 Area-specific non-complying activities

a. The activities listed below are a non-complying activity.

	Activity
NC1	Any development resulting in more than 10,000m ² GFA across the whole Industrial Park Zone (Tait Campus) before the installation of traffic lights (being the physical work) at the intersection of Wairakei Road/ Wooldridge Road/ Roydvale Avenue has been completed. Advice note: 1. The extent of the developer's contribution to the costs of the upgrade of the intersection of Wairakei/ Wooldridge Roads will be agreed with the Council in accordance with the Council Development Contributions Policy, which may include a Private Developer Agreement.
NC2	[Removed]
NC3	Any office activity that does not meet Rule 16.6.3.1.1 P3 (a)(i) or (a)(iii) activity specific standards.

16.6.3.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.6.3.2 Area-specific built form standards – Industrial Park Zone (Tait Campus)

16.6.3.2.1 Minimum building setback from road boundaries

- a. For sites adjoining Wooldridge Road, the minimum building setback from road boundaries shall be 10 metres, as marked on the outline development plan in Appendix 16.8.9.
- b. Any application arising from this rule shall not be publicly notified.

16.6.3.2.2 Landscaped areas

- a. Landscaping and trees shall be provided as follows:

	Standard
i.	<p>A 10 metre wide landscaping strip shall be provided adjacent to the road boundary on sites adjoining Wooldridge Road, excluding roads and pedestrian crossings, and shall comprise:</p> <ol style="list-style-type: none"> A. at least 1 tree for every 10 metres of road frontage or part thereof; B. deciduous trees, planted in groups of no less than 5 with a minimum of 5 metre spacing between trees; C. tree species shall be capable of reaching a minimum height of 10 metres at maturity and be not less than 3 metres high at the time of planting; D. The two lime trees identified on the outline development plan in Appendix 16.8.9 as 'Retained Lime Trees' shall be maintained and incorporated into the Landscaping buffer adjoining Wooldridge Road; E. The protected trees identified on the outline development plan in Appendix 16.8.9 as 'Protected Trees' and specimen trees immediately surrounding the protected trees in the North West corner of the Zone shall be incorporated into the landscaping buffer adjoining Stanleys Road.
ii.	1 tree shall be planted for every 5 car parking spaces within any car parking area.

- b. Any application arising from this rule shall not be publicly notified.

16.6.3.2.3 Stormwater management

	Standard
a.	Any stormwater from an activity within the zone shall be managed to meet the following requirements:

	Standard
	<ul style="list-style-type: none"> i. First flush treatment for the first 25mm of runoff from hardstanding areas shall be provided using vegetated dry sedimentation basins. ii. Flows in excess of the first flush and including the 50 year return events (9 hour duration) shall be attenuated in the locations defined on the outline development plan in Appendix 16.8.9 as 'On site stormwater treatment and attenuation'. iii. Stormwater discharge from the zone to the Council stormwater network shall be attenuated to pre-development levels (for up to 50 year storm events).
b.	Any stormwater from an activity shall be conveyed by open naturalised swales (defined on the outline development plan in Appendix 16.8.9 as 'Open naturalised stormwater conveyance/swales') running through the zone from west to east via a series of basins as defined on the outline development plan in Appendix 16.8.9 as 'On site stormwater treatment and attenuation' to a point defined on the outline development plan from where stormwater shall be piped to an existing drain on the east side of Wooldridge Road.
c.	At least 80% of any planting around swales and ponds for stormwater management shall be indigenous vegetation .
d.	Any application arising from this rule shall not be publicly notified.

16.6.3.2.4 Roading and access

	Standard
a.	<p>Access from Stanleys Road:</p> <ul style="list-style-type: none"> i. Any access to an activity from Stanleys Road shall be at a location marked on the outline development plan in Appendix 16.8.9 as 'Secondary Access'. ii. Prior to any activity having access to Stanleys Road, new give-way markings on the Stanleys Road approach to its intersection with Harewood Road shall be provided at the cost of the developer or their successor/s in title. iii. Within 6 months of an activity having access to Stanleys Road, a left turn lane shall be provided on the Stanleys Road approach to the Stanleys Road/ Harewood Road intersection, which shall be carried out (as agreed with the Council) at the cost of the developer or their successor/s in title. iv. Any development preceding subdivision with access to Stanleys Road shall include a footpath along the Stanleys Road frontage of the zone.
b.	<p>General:</p> <ul style="list-style-type: none"> i. All work associated with design and construction of vehicle access to the zone, intersection works, internal roads and footpaths within the zone, and a footpath along

	Standard
	<p>the road frontage of Stanleys Road shall be provided at the cost of the developer or their successor/s in title.</p> <p>ii. Any development preceding subdivision with access to Stanleys Road shall include a shared cycleway and footpath of minimum 2.5 metre width from Wooldridge Road to Stanleys Road as marked on the outline development plan in Appendix 16.8.9 as 'Public shared walk and cycle connection', connecting with pedestrian and cycle facilities adjoining the zone.</p> <p>iii. Any surface car parking area associated with an activity shall be in the locations identified on the outline development plan in Appendix 16.8.9 as 'pocket car parks at grade associated with buildings'. Any car parking area elsewhere in the zone shall be located under or within buildings.</p> <p>iv. Any pedestrian and cycle way through the site shall be illuminated to a level between 2 and 10 lux.</p> <p>v. Any access to an activity shall be set back from trees identified on the outline development plan in Appendix 16.8.9 as 'Existing trees not to be affected by road layout' by a distance of at least 10 metres.</p>
c.	Any application arising from this rule shall not be publicly notified.

16.6.4 Area-specific rules – Industrial Park Zone (Awatea)

- a. The following rules and the Awatea Outline Development Plan (including the layer diagrams) (**Appendix 16.8.10**) shall apply to the Industrial Park Zone (Awatea). All activities specified are also subject to the rules in **16.6.1** (Activity status tables) and **16.6.2** (Built form standards) unless specified otherwise in **16.6.4**.

16.6.4.1 Area-specific activities - Industrial Park Zone (Awatea)

16.6.4.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial Park Zone (Awatea) if they meet the activity specific standards set out in this table and the built form standards in **Rule 16.6.4.2**.

Activity		Activity specific standards
P1	Activities listed in Rule 16.6.1.1 P1-P18	a. Development shall comply with:

		<ul style="list-style-type: none"> i. All of the key structuring elements on the Awatea outline development plan (including the layer diagrams) (Appendix 16.8.10), whether they are indicated as 'Fixed Structural Elements' or not, being: <ul style="list-style-type: none"> A. Blue network elements B. Green network elements C. Green multiuse corridors D. Movement network E. Primary Road F. Location of access points on the movement network G. Traffic treatment to prevent heavy vehicle access H. Representative traditional places and sites of significance I. Traditional headwaters J. Proposed indigenous tree planting corridor. ii. Built form standards in Rule 16.6.4.2, and Rule 16.6.2 unless specified otherwise in 16.6.4.2
P2	Key structuring elements identified on the outline development plan in Appendix 16.8.10 .	<ul style="list-style-type: none"> a. Development is to be in accordance with the key structuring elements on the Awatea Outline Development Plan (including the layer diagrams) (Appendix 16.8.10), as identified in Rule 16.6.4.1.1 P1.
P3	Offices	<ul style="list-style-type: none"> a. Offices shall: <ul style="list-style-type: none"> i. be limited to a total of 5,000 m²; ii. have visually transparent glazing on the ground floor elevation facing the road for a minimum of 20% of that elevation where the office activity fronts the road; iii. have a maximum tenancy size of 500m² GLFA.

16.6.4.1.2 Area-specific controlled activities

There are no controlled activities.

16.6.4.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1, 16.7.2 and 16.7.3.12](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.6.4.1.1 P1 that does not meet one or more of the built form standards in 16.6.4.2.</p> <p>Advice note:</p> <p>a. Refer to relevant built form standard for provisions regarding notification.</p>	<p>a. Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3</p>
RD2	<p>a. Any development not complying with a key structuring element on the outline development plan in Appendix 16.8.10.</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Outline development plan – Rule 16.7.3.12.1</p>
RD3	<p>Any office activity that does not meet Rule 16.6.4.1.1 P3 (a)(ii) activity specific standards.</p>	<p>a. Display of goods, showroom and non-industrial activities – Rule 16.7.2.1</p>

16.6.4.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.6.4.1.5 Area-specific non complying activities

- a. The activities listed below are non-complying activities.

	Activity
NC1	[Removed]
NC2	Any office activity that does not meet Rule 16.6.4.1.1 P3 (a)(i) or (a)(iii) activity specific standards.

16.6.4.1.6 Area-specific prohibited activities

There are no area-specific prohibited activities.

16.6.4.2 Area-specific built form standards - Industrial Park Zone (Awatea)

16.6.4.2.1 Minimum building setback from road boundaries

- a. The minimum building setback from the road boundary with Halswell Junction Road or McTeigues Road shall be 10 metres.
- b. Any application arising from this rule shall not be publicly notified.

16.6.5 Area-specific rules - Industrial Park Zone (Wairakei Road)

- a. The following rules and the Industrial Park Zone (Wairakei Road) Outline Development Plan ([Appendix 16.8.14](#)) shall apply to the Industrial Park Zone (Wairakei Road). All activities specified are also subject to the rules in [16.6.1](#) (Activity status tables) and [16.6.2](#) (Built form standards) unless specified otherwise in [Rule 16.6.5](#).

Advice note:

1. The area defined on the Industrial Park Zone (Wairakei Road) Outline Development Plan as "Industrial Park Zone (Tait) and Industrial General Zone (Stanleys Road) – Refer to [Appendix 16.8.9](#)" is for information purposes only and the relevant rules for this area are in [16.6.3](#) and [16.4.7](#).

16.6.5.1 Area-specific activity status tables - Industrial Park Zone (Wairakei Road)

16.6.5.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial Park Zone (Wairakei Road) if they meet the activity specific standards set out in this table and the built form standards in [Rule 16.6.5.2](#).

Activity		Activity specific standards
P1	Activities listed in Rule 16.6.1.1 P1-P18.	<p>a. Development shall comply with:</p> <ul style="list-style-type: none"> i. The location of the key structuring elements on the Industrial Park Zone (Wairakei Road) Outline Development Plan (Appendix 16.8.14), being: <ul style="list-style-type: none"> A. Stormwater facility locations ii. Built form standards in Rule 16.6.5.2, and Rule 16.6.2 unless specified otherwise in Rule 16.6.5.2. iii. Activity specific standards in Rule 16.6.1.1 for activities P1 to P18 (Refer to Rule 16.6.1.3 RD2 for any non-compliance)
P2	Key structuring elements identified on the Outline Development Plan in Appendix 16.8.14	<p>a. Development is to be in accordance with the key structuring elements on the outline development plan, as identified in Rule 16.6.5.1.1 P1.</p>

16.6.5.1.2 Area-specific controlled activities

There are no controlled activities.

16.6.5.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1, 16.7.2](#) and [16.7.3.13](#), as set out in the following table.

	Activity	The Council's discretion shall be limited to the following matters:
RD1	<p>a. Any activity listed in Rule 16.6.1.1 P1-P18 that does not meet one or more of the built form standards in 16.6.5.2, unless otherwise specified in Rule 16.6.5.1.5 NC4.</p> <p>Advice note:</p> <p>a. Refer to the relevant built form standard for provisions regarding notification.</p>	<p>a. As relevant to the built form standard that is not met:</p> <p>i. For Rule 16.6.5.2.5, Minimum building setback from the boundary with a residential zone – Rule 16.7.1.4</p> <p>ii. For Rule 16.6.5.2.5, Sunlight and outlook at boundary with a residential zone, residential property and road – Rule 16.7.1.5</p> <p>iii. For Rule 16.6.5.2.5, Outdoor storage of materials – Rule 16.7.1.6</p> <p>iv. Minimum building setback from the boundary with the Rural Urban Fringe Zone & Specific Purpose (Schools) Zone – Rule 16.7.3.13.1</p> <p>v. For Rule 16.6.5.2.2, Landscaping in the Industrial Park Zone (Wairakei Road) - Rule 16.7.3.13.2</p> <p>vi. Roading and access - Rule 16.7.3.13.3</p>
RD2	<p>a. Any activity listed in Rule 16.6.5.1.1 P1 - P2 that does not meet activity specific standard P1 (a)(i) and/or P2 (a).</p> <p>b. Any application arising from this rule shall not be publicly notified.</p>	<p>a. Outline development plan – Rule 16.7.3.13.4</p>

16.6.5.1.4 Area-specific discretionary activities

There are no discretionary activities.

16.6.5.1.5 Area-specific non-complying activities

- a. The activities listed below are non-complying activities.

	Activity

NC1	Any new road or direct site access to Russley Road, defined on the Industrial Park Zone (Wairakei Road) Outline Development Plan in Appendix 16.8.14 as “No road or site access”
NC2	Any activity which results in the instantaneous sewage flow from a site exceeding 0.09 l/s/ha.
NC3	Any activity resulting in more than 10ha (excluding roads) of land within the Industrial Park Zone (Wairakei Road) Outline Development Plan area as defined in Appendix 16.8.14 being developed for permitted or consented activities before completion of: <ul style="list-style-type: none"> a. the upgrade of the intersection of Wooldridge Road and Harewood Road comprising traffic signal controls; b. the upgrade of the intersection of Stanleys Road and Harewood Road comprising controls for managing right turning movements out of Stanleys Road.
NC4	Any activity not complying with Rule 16.6.5.2.4 (Sewer infrastructure).

16.6.5.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.6.5.2 Area-specific built form standards - Industrial Park Zone (Wairakei Road)

16.6.5.2.1 Minimum building setback from the boundary with the Rural Urban Fringe and Specific Purpose (School) zones

- a. The minimum **building setback** from the boundary with the Rural Urban Fringe and Specific Purpose (School) zones shall be 10 metres.
- b. Any application arising from this rule shall not be publicly notified.

16.6.5.2.2 Landscaped areas

- a. **Landscaping** and trees shall be provided as follows:

	Applicable to	Standard
i.	Activities located on a site that includes or adjoins the former channel of the Styx River, identified on the Industrial Park Zone (Wairakei Road) Outline Development Plan in Appendix 16.8.14 as “Indicative Blue/ green corridor – planting”	<ol style="list-style-type: none"> a. Planting of trees and shrubs shall: <ul style="list-style-type: none"> i. be completed prior to, or in conjunction with, the establishment of the activity; ii. be at a density of 1 tree or shrub per 2m²; iii. be undertaken as a corridor either side of the former channel of the Styx River; and iv. be of indigenous species only.

	Applicable to	Standard
ii.	Activities on sites adjoining the Rural Urban Fringe and/or Specific Purpose (School) Zones.	<p>a. A landscaping strip shall be provided adjacent to the boundary with the Rural Urban Fringe and/or Specific Purpose (School) Zones in accordance with the following standards:</p> <ul style="list-style-type: none"> i. Minimum width of 10 metres ii. Two rows of trees, staggered in a manner that one row is off-set from the other row; iii. Trees shall be spaced 10 metres apart in each row; iv. Trees used in the landscaping strip shall comprise one or more of the following species: <i>Podocarpus totara</i> – Totara, <i>Hoheria angustifolia</i> – houhere/ narrow-leaved lacebark, <i>Plagianthus regius</i> – manatu/ lowland ribbonwood; iv. Shrubs shall be planted between the two rows of trees, using the species listed in Appendix 6.11.6 of Chapter 6, section 3; v. The requirements of Appendix 6.11.6 of Chapter 6 Part A shall apply; vi. Maintenance of the landscaping strip shall be undertaken for a period of no less than 5 years from the date of planting. vii. The landscaping strip shall be completed prior to, or in conjunction with, the establishment of the activity.
iii.	Activities on sites adjoining the Specific Purpose (School) Zones.	<p>a. In addition to (a)(i) and (a)(ii), a solid, continuous fence with a minimum height of 1.8 metres shall be constructed on the boundary with the Specific Purpose (School) Zone.</p> <p>b. The fence shall be constructed prior to, or in conjunction with, the establishment of the activity.</p>

b. Any application arising from this rule shall not be limited or publicly notified.

16.6.5.2.3 Roading and access

	Standard
a.	Any activity shall have vehicle access to Wairakei Road, Stanleys Road and/or Woolridge Road only in the locations marked on the Industrial Park Zone (Wairakei

	Road) Outline Development Plan (Appendix 16.8.14) as “Road access point – Proposed controlled intersection”.
b.	<p>i. There shall be no development of allotments which the 'Collector road' runs through on the outline development plan prior to the vesting of land and its formation as a “Collector road” along the alignment shown on the Outline Development Plan in Appendix 16.8.14.</p> <p>ii. There shall be no development of Lot 2, DP54992 (580 Russley Road) and Lot 1, DP54992 (570 Russley Road) prior to the vesting of land and its formation as a Local road along the “Local Road” alignment shown on the Outline Development Plan in Appendix 16.8.14.</p>
c.	Any application arising from this rule shall not be publicly notified.

16.6.5.2.4 Sewer infrastructure

	Standard
a.	No activity shall discharge to the Council's reticulated wastewater network until the upgrade of the Avonhead sewer and Upper Riccarton Interceptor Sewer to provide capacity to accommodate wastewater flows from the Industrial Park Zone (Wairakei Road) into the Wairakei collector sewer.
b.	Any activity which discharges to the Council's reticulated wastewater network following the upgrades specified under a. shall have a flow meter installed at the discharge point to the Council's reticulated network.
c.	Any application arising from this rule shall not be publicly or limited notified.

16.6.5.2.5 Boundary with residential properties within the zone

- a. The following built form standards shall apply to any boundary with properties used for **residential activity** within the zone:
 - i. The minimum building setback from the boundary with properties used for **residential activity** within the zone shall be 6 metres;
 - ii. Where an internal site boundary adjoins properties used for residential activity within the zone, no part of any building shall project beyond a building envelope contained by a **60°** recession plane measured at any point **2.3 4.0** metres above the internal boundary in accordance with Diagram E of [Appendix 16.8.11](#);
 - iii. Where sites are located within a Flood management area, recession plane breaches created by the need to raise floor levels shall not be limited or publicly notified; and
 - iv. [Rule 16.6.2.6](#) Outdoor storage of materials/ car parking.
- b. Any application arising from this rule shall not be publicly notified.

16.6.6 Area-specific rules - Industrial Park Zone (Memorial Avenue)

- a. The following rules and the Industrial Park Zone (Memorial Avenue) Outline Development Plan ([Appendix 16.8.15](#)) shall apply to the Industrial Park Zone (Memorial Avenue). All activities specified are also subject to the rules in [16.6.1](#) (Activity status tables) and [16.6.2](#) (Built form standards) unless specified otherwise in Rule [16.6.6](#).

16.6.6.1 Area-specific activities - Industrial Park Zone (Memorial Avenue)

16.6.6.1.1 Area-specific permitted activities

- a. The activities listed below are permitted activities in the Industrial Park Zone (Memorial Avenue) if they meet the activity specific standards set out in this table and the built form standards in [Rules 16.6.2](#) and [16.6.6.2](#).
- b. Activities may also be controlled, restricted discretionary, discretionary, non-complying or prohibited, as specified in [Rules 16.6.6.1.2](#), [16.6.6.1.3](#), [16.6.6.1.4](#), [16.6.6.1.5](#) and [16.6.6.1.6](#).

Activity		Activity specific standards
P1	Activities listed in Rule 16.6.1.1 P1-P18 and activities listed in Rule 16.6.6.1.1 P2-P4.	<p>a. The activity shall comply with:</p> <ul style="list-style-type: none"> i. All of the key structuring elements on the Industrial Park Zone (Memorial Avenue) Outline Development Plan (Appendix 16.8.15), being: <ul style="list-style-type: none"> A. "Road access point – controlled intersection" locations B. "Collector Road" location C. A "left in, left out only" access configuration at the western access to Memorial Avenue. "Shall comply with" in respect to clause iii. means that the activity and/or its site layout shall not compromise the provision of a left-in, left out only access. ii. Built form standards in Rule 16.6.6.2, and Rule 16.6.2 unless specified otherwise in Rule 16.6.6.2. iii. Activity specific standards in Rule 16.6.1 for activities listed in Rule 16.6.1.1 P1 to P18 (Refer to Rule RD2 of Rule 16.6.1.3 for any non-compliance).
P2	Visitor accommodation	<p>a. No more than 200 bedrooms shall be provided in the zone.</p>

		<p>b. Visitor accommodation shall be designed and constructed to comply with the indoor design sound levels contained in Rule 6.1.7.2.1(a)(i)(B). The requirement of Rule 6.1.7.2.1(a)(i)(B) for road traffic noise shall also apply in respect of noise from industrial activity within the zone at the noise levels permitted under Rule 6.1.5.2.1, Table 1.</p> <p>c. Visitor accommodation shall be limited to the areas defined on the Industrial Park Zone (Memorial Avenue) Outline Development Plan (Appendix 16.8.15) as "Guest Accommodation restricted to this area".</p>
P3	Veterinary care facility	Nil
P4	Health care facility with no overnight accommodation	<p>a. The health care facility shall comply with the indoor design sound levels contained in Rule 6.1.7.2.1(a)(i)(B). The requirement of Rule 6.1.7.2.1(a)(i)(B) for road traffic noise shall also apply in respect of noise from industrial activity within the zone at the noise levels permitted under Rule 6.1.5.2.1, Table 1.</p>
P5	Key structuring elements identified on the outline development plan in Appendix 16.8.15	<p>a. The activity shall be in accordance with the key structuring elements on the Industrial Park Zone (Memorial Avenue) Outline Development Plan (Appendix 16.8.15), as identified in Rule 16.6.6.1.1 P1.</p>

16.6.6.1.2 Area-specific controlled activities

- a. The activities listed below are controlled activities.
- b. Discretion to impose conditions is restricted to the matters over which control is reserved in [Rule 16.7.3.14](#), as set out in the following table (the matters of discretion are to be treated as a matter of control for the purposes of this rule).

Activity	The Council's control is reserved to the following matters:
<p>C1</p> <p>a. The erection of new buildings and additions to existing buildings either wholly or partly within any area between 10 metres and 50 metres of Russley Road and/or between 20 metres and 50 metres of Memorial Avenue.</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>	<p>a. Design and amenity - Rule 16.7.3.14.2</p>

16.6.6.1.3 Area-specific restricted discretionary activities

- a. The activities listed below are restricted discretionary activities.
- b. Discretion to grant or decline consent and impose conditions is restricted to the matters of discretion set out in [Rules 16.7.1, 16.7.2 and 16.7.3.14](#), as set out in the following table.

Activity	The Council's discretion shall be limited to the following matters:
<p>RD1</p> <ol style="list-style-type: none"> a. Any activity listed in Rule 16.6.6.1.1 P1, other than as provided for in Rule 16.6.6.1.5 NC1, that does not meet activity specific standard (a)(i). b. Any application arising from this rule shall not be publicly notified. 	<ol style="list-style-type: none"> a. Outline development plan – Rule 16.7.3.14.1
<p>RD2</p> <ol style="list-style-type: none"> a. Any activity listed in Rule 16.6.6.1.1 P1-P4 or Rule 16.6.6.1.3 RD3 that does not meet one or more of the built form standards in Rule 16.6.2 and 16.6.6.2, other than Rule 16.6.6.2.6. <p>Advice note:</p> <ol style="list-style-type: none"> a. Refer to the relevant built form standard for provisions regarding notification. 	<ol style="list-style-type: none"> a. As relevant to the built form standard that is not met: <ol style="list-style-type: none"> i. Maximum height of buildings and fencing or screening structure – Rule 16.7.1.1 ii. Maximum building coverage of a site – Rule 16.7.1.2 iii. Minimum building setback from road boundaries/ railway corridor – Rule 16.7.1.3 iv. Minimum building setback from the boundary with a residential zone, residential property – Rule 16.7.1.4 v. Sunlight and outlook at boundary with a residential zone, residential property and road – Rule 16.7.1.5 vi. Outdoor Storage areas of materials – Rule 16.7.1.6 vii. Landscaped areas – Rule 16.7.1.7 viii. Water supply for fire-fighting – Rule 16.7.1.9 ix. For Rule 16.6.6.2.7, Outline development plan – Rule 16.7.3.14.1 x. For Rule 16.6.6.2.2, Design and amenity - Rule 16.7.3.14.2

Activity	The Council's discretion shall be limited to the following matters:
RD3	<p>a. Trade suppliers resulting in no more than 10,000m² GLFA in the Industrial Park Zone (Memorial Avenue).</p> <p>b. Any application arising from this rule shall not be limited or publicly notified.</p>
	<p>a. Display of goods, showroom and non-industrial activities – Rule 16.7.2.1(a)(i) - (iii), (v), (vi), (ix)</p> <p>b. Design and amenity – Rule 16.7.3.14.2</p>

16.6.6.1.4 Area-specific discretionary activities

a. The activities listed below are discretionary activities.

	Activity
D1	<p>Buildings for permitted, controlled and restricted discretionary activities in Rules 16.6.1 and 16.6.6.1 within the area defined on the Industrial Park Zone (Memorial Avenue) Outline Development Plan (Appendix 16.8.15) as "Airport Runway End Protection Area", other than enclosed walkways which:</p> <p>a. are not greater than 2.4 metres in height and/or 1.8 metres in width, and</p> <p>b. are associated with vehicle parking areas.</p>

b. Any application arising from this rule shall not be publicly notified and shall be limited notified only to Christchurch International Airport Limited (absent its written approval).

16.6.6.1.5 Area-specific non-complying activities

a. The activities listed below are non-complying activities.

	Activity
NC1	Any access or road connection from the Industrial Park Zone (Memorial Avenue) to Memorial Avenue or Russley Road in locations other than as shown on the Outline Development Plan in Appendix 16.8.15 as "Road access point – controlled intersection".
NC2	Any activity not complying with Rule 16.6.6.2.6 (Sewer infrastructure).
NC3	Industrial activity or warehousing and distribution activity on any part of a site within 50 metres of Memorial Avenue.
NC4	Food and beverage outlets with drive-through facilities on any part of a site within 50 metres of Memorial Avenue and/or Russley Road.
NC5	Activities not complying with Rule 16.6.6.1.1. P2 (a)(i) to (a)(iii) and/or P4 a.

16.6.6.1.6 Area-specific prohibited activities

There are no prohibited activities.

16.6.6.2 Area-specific built form standards — Industrial Park Zone (Memorial Avenue)

- a. The following built form standards shall be met by all permitted activities, controlled activities, and for restricted discretionary activity RD3, unless otherwise stated.

16.6.6.2.1 Maximum height for buildings

- a. The maximum height of any building shall be as follows:

	Applicable to:	Standard
i.	Buildings – All areas, unless specified below	15 metres
ii.	Buildings, unless specified below, within 50 metres of Memorial Avenue or adjoining a 'Key Open Space Location' defined on the Outline Development Plan in Appendix 16.8.15.	12 metres
iii.	Buildings for visitor accommodation in the area defined on the Outline Development Plan in Appendix 16.8.15 as "Guest Accommodation restricted to this area (20m height limit)"	20 metres

- b. Any application arising from this rule shall not be publicly notified.

16.6.6.2.2 Minimum building setback from road boundaries adjacent to Memorial Avenue and Russley Road

- a. The minimum building setback from road boundaries shall be as follows:

	Applicable to:	Standard
i.	Buildings on a site adjacent to Memorial Avenue	20 metres
ii.	Buildings on a site adjacent to Russley Road	10 metres

- b. Any application arising from clause (a)(i) of this rule shall not be limited or publicly notified.
- c. Any application arising from clause (a)(ii) shall not be publicly notified. Limited notification, if required, shall only be to New Zealand Transport Agency (absent its written approval).

16.6.6.2.3 Sunlight and outlook at boundary with residential properties and visitor accommodation within the zone

- a. Where a site boundary adjoins a site used for residential activity or visitor accommodation within the zone, no part of any building shall project beyond a building envelope contained by a 60° recession plane measured from any point 2.3 4.0 metres above the site internal boundary in accordance with diagram E in Appendix 16.8.11.
- b. Any application arising from this rule shall not be publicly notified.

16.6.6.2.4 Outdoor storage areas / car parking

	Standard
a.	Any outdoor storage area (including car parking) shall not be located within the minimum building setbacks specified in Rule 16.6.6.2.2 .
b.	<p>i. On sites adjacent to Memorial Avenue, all car parking areas shall be provided to the side or rear of sites and not between buildings and the road.</p> <p>ii. Car parking areas to the side of buildings shall not occupy more than 40% of the Memorial Avenue road frontage of each site.</p>
c.	Any application arising from this rule shall not be limited or publicly notified.

16.6.6.2.5 Landscaped areas adjacent to Memorial Avenue and Russley Road

- a. **Landscaping** and trees shall be provided as follows:

	Standard
i.	<p>A. A landscaping strip shall be provided within the building setback from Memorial Avenue of at least 10 metres in depth.</p> <p>B. Within the landscaping strip, at least 1 tree shall be planted for every 10 metres of the boundary or part thereof.</p>
ii.	Provision shall be made for landscaping to at least 1.8 metres in height along the length of the zone boundary adjacent to Russley Road. Landscaping , comprising shrubs and trees, shall create a continuous screen along the zone boundary for a minimum depth of 1.5 metres.

- b. Any application arising from clause (a)(i) of this rule shall not be limited or publicly notified.
- c. Any application arising from clause (a)(ii) shall not be publicly notified. Limited notification, if required, shall only be to New Zealand Transport Agency (absent its written approval).

16.6.6.2.6 Sewer infrastructure

	Standard
a.	Any activity that discharges to the Council's wastewater network shall not exceed the flows specified in Table A below before the upgrade of the infrastructure identified.
b.	The discharge flow from the site shall be able to be remotely monitored and controlled by Council .
c.	Any application arising from this rule shall not be limited or publicly notified.

Table A			
	Timeframes	Allowable discharge during a storm event (Refer below)	Allowable discharge outside storm event
i.	Prior to the upgrade of any part of the Riccarton Interceptor	0	0
ii.	Maximum discharge after upgrade of the Lower Riccarton Interceptor.	6.7l/s	7.8 l/s
iii.	Maximum discharge following the upgrade of the Upper Riccarton Interceptor and Lower Riccarton Interceptor.	7.6 l/s	7.8 l/s
iv.	Maximum discharge following the full upgrade of the Upper Avonhead Road sewer, Upper Riccarton Interceptor and Lower Riccarton Interceptor sewers.	0.75 l/s/ha	0.75 l/s/ha

Advice note:

- a. A storm event is defined by the measured water level in the Riccarton Interceptor exceeding the daily Peak Dry Weather flow water level (measured as an average for the month of September each year) by more than 100mm.

16.6.6.2.7 Roading and access

- a. No development undertaken pursuant to [Rules 16.6.6.1.1](#), [16.6.6.1.2](#) and [16.6.6.1.3](#) shall occur until the "Main Access" shown on the Outline Development Plan in [Appendix 16.8.15](#) is constructed.
- b. Any application arising from this rule shall not be publicly notified.

16.7 Rules - Matters of discretion

16.7.1 Matters of discretion for built form standards

16.7.1.1 Maximum height of buildings and fencing or screening structure

- a. **Building height:**
 - i. The distance the **building** is **setback** from any residential zone and the extent to which this mitigates any adverse effects of the increased **height**.

- ii. The extent to which the additional **building height** may enable the more efficient use of the remainder of the **site** or the long-term protection of **sites of Ngāi Tahu cultural significance** identified in **Schedule 9.5.6.1**, significant trees listed in **Appendix 9.4.7.1**, or natural features on the **site**.
- iii. The design and appearance of the **building** in mitigating the visual impact of exceeding the **height** limit.
- iv. The extent to which the **building** may visually dominate the area it is located in, having regard to the scale and form of **buildings** in the surrounding area.
- v. The extent to which the location of the **building** on the **site** and its visibility minimises visual effects on the surrounding area.
- vi. The extent to which the increase in **height** reflects functional requirements of the activity.
- b. Fencing or screening structures in the Industrial Park Zone:
 - i. The extent to which visibility is maintained between the **building** and the street.
 - ii. The extent to which screening maintains public safety and other **Crime Prevention through Environment Design (CPTED)** principles.

16.7.1.2 Maximum building coverage of a site

- a. The ability to mitigate any adverse effects of increased **coverage** by additional **landscaping** or screening.
- b. In the Industrial Park Zone, the degree to which the existing and anticipated open space and park-like character of the zone will be retained.
- c. Any adverse effects of increased **building coverage** on the character of the surrounding environment.
- d. The extent to which a greater **site coverage** reflects functional requirements of the activity.

16.7.1.3 Minimum building setback from road boundaries/ railway corridor

- a. The extent to which the reduced **setback** of the **building** impacts on the amenity of the street environment, having regard to its location within the zone, function of the zone and the anticipated level of amenity.
- b. The extent and quality of **landscaping** to be provided.
- c. The effect of a **building's** reduced **setback**, taking account of such factors as existing **road** widths, existing **building setbacks**, functional requirements, street planting, and the orientation of **buildings** on **adjoining sites**, particularly those in residential zones.
- d. Whether the reduced **setback** from the rail corridor will enable **buildings** to be maintained without requiring **access** above, over, or on the rail corridor.

16.7.1.4 Minimum building setback from the boundary with a residential zone, residential property

- a. Any adverse visual effects on any **adjoining** residential property as a result of a reduced **building setback**.
- b. Whether **landscaping** or screening within the **setback** mitigates the dominance of **buildings**.
- c. The scale and **height** of **buildings** within the reduced **setback** and their impact on the visual outlook of residents and users on the **adjoining site(s)**.
- d. The extent to which **buildings** in the **setback** enable better use of the **site** and improve the level of amenity elsewhere on the **site**.
- e. The proposed use of the **setback**, the visual and other effects of this use and whether a reduced **setback** and the use of that **setback** achieves a better outcome.
- f. The effect of a reduced **setback** on the character of the Industrial Park Zone as a park-like environment.
- g. The extent to which the proposed **setback** intrusion would impact on the visual amenity or use of any **esplanade reserve** or strip.

16.7.1.5 Sunlight and outlook at boundary with a residential zone, residential property and road

- a. The effect of any reduced sunlight admission on properties in **adjoining** zones, taking account of the extent of overshadowing, the intended use of spaces and for residential properties, the position of **outdoor living spaces** or main **living areas** in **buildings**.
- b. The effect on privacy of residents and other users in the **adjoining** zones.
- c. The scale of **building** and its effects on the character of any **adjoining** residential zone.
- d. The effects of any **landscaping** and trees proposed within the **site**, or on the **boundary** of the **site** in mitigating adverse visual effects.
- e. The effect on outlook from **adjoining** properties.
- f. For **sites** fronting Blakes Road, Belfast, the extent to which any intrusion of the **road boundary** recession plane results in additional **building** scale and bulk and associated effects on the visual and residential amenity of residential properties and the visual amenity of **sites** on the opposite side of Blakes Road.

16.7.1.6 Outdoor storage of materials

- a. The extent of visual impacts on the **adjoining** environment.
- b. The extent to which **site** constraints necessitate the location of storage within the **setback**.
- c. The type and volume of materials to be stored.

- d. The extent, appearance and type of screening or **landscaping** proposed.
- e. The functional requirements of the activity.

16.7.1.7 Landscaped areas

- a. The visual effects of **buildings** taking account of their scale and appearance, **outdoor storage areas**, **car parking areas** or other activities as a result of reduced **landscaping**.
- b. The extent to which the **site** is visible from **adjoining** residential **sites** and/or identified **arterial roads** fulfilling a gateway function and the likely consequences of any reduction in **landscaping** or screening on the amenity of those **sites**.
- c. Whether there are any compensating factors for reduced **landscaping** or screening, including the nature or scale of planting proposed, the location of **parking areas**, **manoeuvring areas** or storage areas, or the location of **ancillary offices**/wholesale display of goods/showrooms.
- d. The extent to which the length of the **road frontage** to any adjoining zone boundary reduces the need for tree planting.
- e. The relative importance of **landscaping** on the **site**, taking account of the visual quality of an adjoining zone.
- f. The extent to which the proposal is consistent with the anticipated amenity of the zone.
- g. The extent to which tree planting under the **electricity transmission** network would adversely affect the safe and efficient functioning of the electricity network or restrict maintenance of that network.
- h. The extent to which indigenous species are used to recognise and enhance Ngāi Tahu/mana whenua cultural values, particularly where development is located within a **Site of Ngāi Tahu Cultural Significance** identified in **Appendix 9.5.6**.
- i. The extent to which stormwater facilities are integrated into **landscaped areas** to achieve a multi-value approach.
- j. The appropriateness and placement of **landscaping** having regard to the potential adverse effects on safety for pedestrians and vehicles and the functional requirements of the activity.

16.7.1.8 Access to the Industrial General Zone (Deans Ave)

- a. Whether any conflict may be created by vehicles queuing across the **vehicle crossing**.
- b. Whether there may be potential confusion between vehicles turning at the crossing or the intersection.
- c. The effect on safety for all **road** users of the proposed **road access** points to the Industrial General Zone (Deans Ave).
- d. Whether the speed and volume of vehicles on the **road** will exacerbate the adverse effects of **access** on the safety of users of all transport modes.

- e. Whether the geometry of the **frontage road** and intersections will mitigate the adverse effects of the **access**.
- f. The present traffic controls along the **road** corridor where vehicular **access** is proposed.
- g. Any cumulative effects when considered in the context of existing **access** points serving other activities in the vicinity.
- h. The proposed traffic mitigation measures such as medians, no right turn or left turn **signs**, or traffic calming measures.

16.7.1.9 Water supply for fire fighting

- a. Whether sufficient firefighting water supply is available to ensure the health and safety of the community, including neighbouring properties.

16.7.1.10 Development Plan for land at 65 – 67 Racecourse Road

- a. Whether there may be potential confusion between vehicles turning at the crossing or the intersection.
- b. The effect on safety for all **road** users of the proposed **road access** points.
- c. Whether the geometry of the **frontage road** and intersections will mitigate the adverse effects of the **access**.
- d. The present traffic controls along the **road** corridor where vehicular **access** is proposed.
- e. Any cumulative effects when considered in the context of existing **access** points serving other activities in the vicinity.
- f. The proposed measures to mitigate traffic effects.
- g. Whether residential amenity is maintained on the **frontage** with Racecourse Road through the provision of **landscaping** and **setback** of **buildings**.
- h. The provision made for trees and planting to mitigate any effects.

16.7.2 Matters of discretion for activity specific standards

16.7.2.1 Display of goods, showroom and non-industrial activities

- a. General:
 - i. The extent to which the activity does not adversely affect the function of the zone to provide for primarily industrial activities.
 - ii. The impact of the activity on the ability of existing or future permitted industrial activities to operate or establish without undue constraint.

- iii. The effect of the development on the capacity to accommodate future demand for industrial activities.
 - iv. The extent to which the activity is **ancillary** to the primary use of a **site** for industrial activities.
 - v. The extent to which the activity contributes to the accumulation of other non-industrial activities that may discourage or displace industrial activities.
 - vi. Whether there are any benefits of a non-industrial activity providing a buffer between industrial activities and more sensitive land use activities.
 - vii. Whether the establishment of non-industrial activities would enable or assist the retention of an historic **building**.
 - viii. The extent to which the activity will be integrated with other **commercial activities** in an **adjoining** commercial zone.
 - ix. The extent to which the activity generates traffic and other effects that impact on the day to day operation of the industrial area.
 - x. The functional requirements of the activity and the necessity for additional floorspace.
- b. **Retail activity, commercial service, gymnasium and preschool:**
- i. The extent to which the activity serves the needs of workers and visitors to the industrial area.
 - ii. The extent to which the activity is **accessible** by a range of modes of transport for communities served by the proposed activity.
- c. **Offices:**
- i. The visual effect of the extent of areas of glazing facing the street, particularly at ground level.

16.7.2.2 Residential activity

- a. In relation to minimum unit size, whether:
 - i. The floorspace available and the internal layout represents a viable **residential unit** that would support the amenity of current and future occupants;
 - ii. Other on-site factors compensate for a reduction in unit sizes e.g. communal facilities;
 - iii. The units are to be a part of a development delivered by a social housing provider and have been designed to meet any specific needs of future social housing tenants and/or atypical housing needs.
- b. In relation to the amount of storage and waste management spaces, whether:
 - i. The amount of space to store rubbish and recycling, whether communal, outdoor or indoor is adequate;
 - ii. The volume of space provided for personal storage is adequate.

- c. In relation to the configuration of storage and waste management space, whether:
 - i. The location of rubbish and recycling space for residents is convenient;
 - ii. The lack of screening of any **outdoor service space** will impact on the visual amenity within the **site** and of any **adjoining site**, activity, or the street scene;
 - iii. The size and flexibility of the **residential unit** layout provides other indoor storage options where an indoor storage space is not provided for each unit;
 - iv. The alternative storage areas provided on the **site** are adequate, **accessible** and convenient, where indoor storage space is not provided for each **residential unit**.
- d. In relation to the amount of **outdoor living space**, whether:
 - i. There is any alternative provision of publicly available space on, or in close proximity to the **site** to meet the needs of occupants now and in the future;
 - ii. The reduction in **outdoor living space** is proportional to the size of the **residential unit** and the demands of the likely number of occupants now and in the future;
 - iii. The reduction in **outdoor living space** or the lack of its **access** to sunlight is compensated for by alternative indoor or **outdoor living space**.
- e. In relation to the location and configuration of **outdoor living space**:
 - i. Whether the allocation between private and communal **outdoor living spaces** within the **site** is adequate and appropriately located to meet the current and future needs of occupants of the **site**;
 - ii. Where the communal outdoor/indoor spaces are not contiguous on a large **site**, the ability of the spaces to meet the needs of residents and provide a high level of residential amenity;
 - iii. Whether the reduction in **outdoor living space** will result in additional loss of mature on-site vegetation and/or spaciousness of the area.
- f. In relation to noise insulation:
 - i. The extent to which the **building** specifications, nature and/or purpose of the proposed residential accommodation reduce the impact of noise and minimise **reverse sensitivity** effects.

16.7.2.3 Sensitive activities

- a. For **preschools**:
 - i. The potential for **reverse sensitivity** effects on **port activities** located at Lyttelton Port and/or industrial activities within the Industrial Heavy Zone.
 - ii. Whether any methods to reduce the potential for **reverse sensitivity** effects on industrial activities within the Industrial Heavy Zone and/or the port operator, other than acoustic insulation, have been incorporated into the design of the proposal.

- iii. The provision of a report from an acoustic specialist provides evidence that the level of external to internal noise reduction is appropriate to ensure the amenity of present and future occupiers of the **site**.

16.7.2.4 Boarding of domestic animals

- a. The extent to which the proposal takes into account:
 - i. the number and type of animals;
 - ii. **building** design, including soundproofing and ventilation;
 - iii. effluent management and disposal;
 - iv. prevailing climatic conditions and topography of the **site** and surrounding area that may affect odour and noise generation;
 - v. existing and proposed **landscaping**;
 - vi. the frequency and nature of management and supervision; and
 - vii. the sensitivity of the receiving environment.
- b. The extent to which the scale of the operation and location of associated **building/s** maintain the anticipated level of amenity of the zone, including relevant zone built form standards.
- c. The extent to which buildings, compounds or part of a site used for animals are sufficiently designed and located or separated from **sensitive activities**, **identified building areas** and residential zone boundaries to avoid adverse effects on residents.
- d. The effects of the hours of operation and public visiting the **site** on the surrounding environment.
- e. Any other mitigation proposed including visual screening.

16.7.2.5 ~~Brownfield Area Redevelopment~~

- ~~a. The extent to which the proposal meets the criteria set out in Policy 16.2.2.2(c).~~
- ~~b. Whether a high quality residential environment is achieved that is consistent with the outcomes sought for Medium Density Residential Zone.~~
- ~~c. The extent to which the proposal addresses the Residential Design Principles in Rule 14.15.1.~~

16.7.3 Matters of discretion for area-specific standards

16.7.3.1 Area-specific rules - Matters of discretion – Industrial General Zone (Waterloo Park)

16.7.3.1.1 Outline development plan - Industrial General Zone (Waterloo Park)

- a. The extent to which development is in accordance with the **outline development plan**.
- b. The extent to which the location of vehicular **access** points, the design of the transport network (including **road** alignment and intersection design within the **outline development plan** area and connections with the wider network), and the associated **vehicle movements** (including the type and volume of vehicles) may individually or cumulatively impact on residential **amenity values** and the safety and efficiency of the transport network.
- c. The degree to which stormwater management areas are suitably located for managing stormwater quality and quantity within the **outline development plan** area.
- d. The extent to which any stormwater system recognises and/or provides for values of importance to Ngāi Tahu/ mana whenua and in particular the maintenance and enhancement of water quality and mahinga kai values.
- e. The degree to which stormwater retention basins and open space are located so as to provide an effective buffer between industrial and **residential activities**.
- f. The extent to which stormwater basins and open space areas are co-located so as to maximise recreational and amenity opportunities.
- g. The extent to which development has adverse effects on the anticipated **amenity values** of **adjoining** zones and the means of mitigating this.

16.7.3.1.2 Hosted visitor accommodation and unhosted visitor accommodation

- a. The extent to which the scale and/or nature of the activity has an adverse effect on the anticipated level of amenity and character of neighbouring sites and the immediate surrounding area.
- b. Whether the traffic generated and vehicle access is appropriate to the character and amenity of the area and the safety and functioning of the transport network.
- c. The extent to which the operation is managed to minimise disturbance to occupiers of neighbouring sites through noise, functions and events, poor wayfinding information, loss of privacy, use of outdoor areas and recreation facilities at night and the management of complaints.

16.7.3.2 Area-specific rules - Matters of discretion – Industrial General Zone (Portlink Industrial Park)

16.7.3.2.1 Development Plan – Industrial General Zone (Portlink Industrial Park)

- a. The extent to which development is in accordance with the development plan.

- b. The extent to which the location of vehicular **access** points, the design of the transport network (including **road** alignment and intersection design within the development plan area and connections with the wider network), and the associated **vehicle movements** (including the type and volume of vehicles) may individually or cumulatively impact on the safety and efficiency of the transport network.

16.7.3.2.2 Landscaping in Portlink Industrial Park Development Plan

- a. The extent to which **landscaping**, planting and stormwater treatment ponds maintain or enhance the visual amenity and ecological values of the margins of the Heathcote River.
- b. The extent to which **landscaping** of the Heathcote River margin can contribute to the enhancement of Ngāi Tahu/ mana whenua cultural values.
- c. The extent to which planting and the location of pedestrian/**cycle ways** protect and enhance the habitat of birds.

16.7.3.2.3 Cycle and pedestrian links – Industrial General Zone (Portlink Industrial Park)

- a. The extent to which the development provides safe and efficient linkages within the development plan area and connections to the wider transport network for walking and cycling.

16.7.3.3 Area-specific rules - Matters of discretion – Industrial General Zone (Musgroves)

16.7.3.3.1 Roading and access - Industrial General Zone (Musgroves)

- a. The extent to which the location of vehicular **access** points, the design of the transport network (including **road** alignment and intersection design within the development plan area and connections with the wider network) and the associated **vehicle movements** (including the type and volume of vehicles) may individually or cumulatively impact on residential **amenity values** and the safety and efficiency of the transport network.

16.7.3.4 Area-specific rules - Matters of control and discretion – Industrial General Zone (North Belfast)

16.7.3.4.1 Outline development plan – Industrial General Zone (North Belfast)

- a. The extent to which development is in accordance with the **Outline Development Plan**.
- b. The extent to which the location of vehicular **access** points, the design of the transport network (including **road** alignment and intersection design within the **outline development plan** area and connections with the wider network) and the associated **vehicle movements** (including the type and volume of vehicles) may individually or cumulatively impact on residential **amenity values** and the safety and efficiency of the transport network including the main north line railway corridor.

- c. The degree to which stormwater retention basins and swales are located so as to provide an effective buffer between industrial and other activities, and to avoid adverse effects on the rail corridor.
- d. The extent to which stormwater areas and open space areas are co-located so as to maximise recreational and amenity opportunities.
- e. The extent to which stormwater is separated from **springs** to protect Ngāi Tahu/ mana whenua values.

16.7.3.4.2 Additional road access – Industrial General Zone (North Belfast)

- a. The effect of any additional **access** points on the safety and efficiency of the **adjoining road** network, and on connectivity with **adjoining** properties, having regard to:
 - i. the level and type of traffic using the proposed **access** point;
 - ii. the location and design of the proposed **access** point;
 - iii. the adequacy of existing **access** points;
 - iv. the nature and extent of consultation with **adjoining** landowners; and
 - v. the extent to which the **access** point and its associated **access road** enables comprehensive development of the wider **outline development plan** area by a legal mechanism and other appropriate method.

16.7.3.4.3 Springs – Industrial General Zone (North Belfast)

- a. The extent to which **springs** within the **outline development plan** area are protected, maintained and enhanced with a suitable buffer.
- b. The degree to which **springs** in the **outline development plan** area are affected by development and any measures proposed to mitigate the effects.
- c. The effects on ecological, cultural and **amenity values** associated with the **springs**.
- d. Whether the development proposed has regard to any existing natural flowpath of water from a **spring** in its design.
- e. The benefits of incorporating **springs** into stormwater management areas and the provision of buffers or similar within these areas to avoid stormwater entering **springs** and the mixing of waters.

16.7.3.5 Area-specific rules - Matters of discretion - Industrial General Zone (Stanleys Road)

16.7.3.5.1 Roading and access - Industrial General Zone (Stanleys Road)

- a. The degree to which safe and efficient pedestrian and cycle **access** is provided with the **adjoining** area and transport networks.

16.7.3.6 Area-specific rules - Matters of discretion – Industrial General Zone (Trents Road)

16.7.3.6.1 Landscaping in the Industrial General Zone (Trents Road)

- a. The extent to which development is in accordance with the [outline development plan](#).
- b. The extent to which the planting (species and density) will maintain an attractive green edge to the [adjoining](#) residential and rural areas.

16.7.3.6.2 Stormwater management in the Industrial General Zone (Trents Road)

- a. The effectiveness of the design, construction and operation of stormwater facilities in managing stormwater on-site including retention and treatment.
- b. The ability for the stormwater system to be adequately maintained, particularly if it remains in private ownership.
- c. The extent to which treatment and disposal methods conform to the [Council's](#) guidelines for stormwater management systems.
- d. The extent to which any stormwater system recognises and/or provides for those values of importance to Ngāi Tahu/ mana whenua and in particular the maintenance and enhancement of water quality and mahinga kai values.

16.7.3.6.3 Roading and access in the Industrial General Zone (Trents Road)

- a. The effect of any additional [access](#) points on the safety and efficiency of the [adjoining road](#) network, having regard to the level and type of traffic using the proposed [access](#) point, the location and design of the proposed [access](#) point and the adequacy of existing or alternative [access](#) points.
- b. The extent to which the location of vehicular [access](#) points, the design of the transport network (including [road](#) alignment and intersection design within the [outline development plan](#) area and connections with the wider network), and the associated [vehicle movements](#) (including the type and volume of vehicles) may individually or cumulatively impact on residential [amenity values](#) and the safety and efficiency of the transport network.
- c. The degree to which safe and efficient pedestrian [access](#) is provided through the [site](#).

16.7.3.7 Area-specific rules - Matters of discretion - Industrial General Zone (South West Hornby)

- a. The extent to which development is in accordance with the [outline development plan](#).
- b. The extent to which development provides for future [road](#) connections within the South West Hornby Industrial area and the wider network.

16.7.3.8 Area-specific rules - Matters of discretion – Industrial Heavy Zone (Sir James Wattie Drive)

16.7.3.8.1 Outline development plan – Industrial Heavy Zone (Sir James Wattie Drive)

- a. The extent to which development is in accordance with the [outline development plan](#).
- b. The extent to which the development provides for safe and efficient connectivity within the [outline development plan](#) area and to the surrounding area and transport network for vehicles, pedestrians and cyclists including to Marshs Road and the public cycleway between Little River, Prebbleton and Hornby.
- c. The extent to which the [landscaping](#), (planting and maintenance) and stormwater infiltration enhance the visual amenity and cultural values of the site and in particular the urban-rural edge at Marshs Road and the approach to [Christchurch City](#) on Shands Road.

16.7.3.8.2 Setback from Marshs Road – Industrial Heavy Zone (Sir James Wattie Drive)

- a. The effect of reducing the [setback](#) on the visual amenity of the [adjoining](#) rural zone.

16.7.3.9 Area-specific rules - Matters of discretion – Industrial Heavy Zone (South West Hornby)

16.7.3.9.1 Outline Development Plan – Industrial Heavy Zone (South West Hornby)

- a. The extent to which development is in accordance with the [outline development plan](#).
- b. The extent to which [landscaping](#) (planting and maintenance) enhances the visual amenity and Ngāi Tahu/mana whenua cultural values of the [site](#) and in particular the urban-rural edge at Marshs Road and the approach to [Christchurch City](#) on Shands Road.

16.7.3.9.2 Setback from boundaries adjoining rural zone – Industrial Heavy Zone (South West Hornby)

- a. The effect of reducing the [setback](#) on the visual amenity of the [adjoining](#) rural zone and the approach to [Christchurch City](#) along Marshs Road, Main South Road and Shands Road.

16.7.3.9.3 Landscaping at rural urban interface – Industrial Heavy Zone (South West Hornby)

- a. The extent to which planting (species and density) will maintain an attractive green edge to the urban area and support biodiversity and Ngāi Tahu cultural values.

16.7.3.9.4 Roading and access – Industrial Heavy Zone (South West Hornby)

- a. The extent to which the location of vehicular [access](#) points, the design of the transport network (including [road](#) alignment and intersection design within the [outline development plan](#) area and connections with the wider network), and the associated [vehicle movements](#) (including the type

and volume of vehicles) may individually or cumulatively impact on the **amenity values** of the surrounding area and the safety and efficiency of the transport network.

- b. The effect of any additional **access** points on the safety and efficiency of the **adjoining road** network, having regard to the level and type of traffic using the proposed **access** point, the location and design of the proposed **access** point and the adequacy of existing or alternative **access** points.
- c. The extent to which the measures for mitigating the effects of development support a comprehensive and integrated approach to development of the South West Hornby industrial area.
- d. The extent to which the development affects the construction and future operation of the movement network as shown on the **outline development plan**.
- e. The extent to which the use of sympathetic design and **landscaping** treatment integrate the proposed **vehicle access** into the surrounding rural environment, in particular with regards to character and amenity.

16.7.3.10 Area-specific rules - Matters of discretion - Industrial Heavy Zone (Springs Road)

16.7.3.10.1 Landscaping on boundaries adjoining the Southern Motorway - Industrial Heavy Zone (Springs Road)

- a. The extent to which planting will maintain a green edge to the urban area.

16.7.3.10.2 Road access to Springs Road - Industrial Heavy Zone (Springs Road)

- a. The extent to which the design (including geometry and layout) of the **road access** to Springs Road in the location marked on the outline development plan (**Appendix 16.8.13**) affects the following, having regard to the volume and type of traffic using the **access**:
 - i. safety for all **road** users on Springs Road; and
 - ii. the function and efficiency of Springs Road.
- b. The effectiveness of proposed mitigation measures, including a median strip, controls on turning movements and other measures, relating to the function, efficiency and safety of the **road** network.

16.7.3.11 Area-specific rules - Matters of discretion – Industrial Park Zone (Tait Campus)

16.7.3.11.1 Open space and character – Industrial Park Zone (Tait Campus)

- a. The extent to which the **building** form, location, **site** design and layout of development:

- i. contributes to a high amenity environment with significant areas of **landscaping** and open space, compatible with the character of Nunweek Park and the **adjoining** rural zones;
- ii. minimises the visual impact of development as viewed from Stanleys Road, Nunweek Park and adjacent rural properties;
- iii. maintains views across the zone;
- iv. provides for and creates a green corridor through the zone that incorporates and enhances landscape and water features including existing trees;
- v. recognises the cultural values of Ngāi Tahu/mana whenua.

16.7.3.11.2 Landscaping – Industrial Park Zone (Tait Campus)

- a. The extent to which **landscaping** provides a transition between the industrial zone and the surrounding rural zones by maintaining an open character, while effectively screening **buildings**, **parking areas** and **outdoor storage areas**.
- b. The quality and effectiveness of **landscaping** proposed along the Wooldridge Road and Stanleys Road **frontages** in creating an attractive appearance to the zone as viewed from the **road**.
- c. The extent to which stormwater basins, open space, and **landscaped areas** are co-located so as to maximize recreational and amenity opportunities.
- d. The degree to which any **reverse sensitivity** effects are avoided or mitigated through **landscaping**.
- e. The suitability of planting along the water feature's edge to the local conditions.
- f. The extent to which **landscaping** incorporates **indigenous vegetation**, enhances mahinga kai values and water quality of the development.

16.7.3.11.3 Connectivity – Industrial Park Zone (Tait Campus)

- a. The extent to which pedestrian and cycle movement through the zone between Wooldridge Road and Stanleys Road and then to the wider transport network and Nunweek Park are facilitated by pedestrian and **cycle ways**.
- b. The extent to which the principles of **Crime Prevention through Environmental Design** have been incorporated into the design of pedestrian and **cycle ways**.
- c. The extent to which pedestrian and **cycle ways** are incorporated within **landscaped areas**.
- d. The provision for vehicle and pedestrian movement between **buildings** within the **site**.

16.7.3.11.4 Parking – Industrial Park Zone (Tait Campus)

- a. The visual effect of car **parking areas** both from within the **site** and as seen from outside the **site**, in particular from Nunweek Park and Stanleys Road, and the effectiveness of any mitigation including **landscaping**.

16.7.3.11.5 Access – Industrial Park Zone (Tait Campus)

- a. The location and design of the external **vehicle access** points to Stanleys and Wooldridge Roads and their effect on the character, safety and efficiency of the **adjoining road** network.
- b. The effectiveness and safety of pedestrian **access** to and from the **site**, including **access** to the public transport network.
- c. The extent to which the location and design of the **vehicle access** points is integrated with **landscaping** along the zone **boundary** and does not compromise the amenity and appearance of the zone as viewed from Wooldridge Road and Stanleys Road
- d. The effect of any additional **access** points in respect to:
 - i. the likely level and type of traffic using the proposed **access** points;
 - ii. the effect on the safety and efficiency of the **adjoining road** network.

16.7.3.11.6 Stormwater management – Industrial Park Zone (Tait Campus)

- a. The extent to which stormwater basins and open space are integrated to maximise recreational opportunities and amenities.
- b. The extent to which any stormwater system recognises and/or provides for those values of importance to Ngāi Tahu/ mana whenua and in particular the maintenance and enhancement of water quality and mahinga kai values.
- c. The effectiveness of the design, construction and operation of stormwater facilities in treatment and retention of stormwater.
- d. The ability for the stormwater system to be adequately maintained, particularly if it remains in private ownership.
- e. The extent to which treatment and disposal methods conform to the **Council's** guidelines for stormwater management systems.

16.7.3.12 Area-specific rules - Matters of discretion - Industrial Park Zone (Awatea)

16.7.3.12.1 Outline development plan - Industrial Park Zone (Awatea)

- a. The extent to which development is in accordance with the **outline development plan**.
- b. The extent to which the location of vehicular **access** points, the design of the transport network (including **road** alignment and intersection design within the **outline development plan** area and connections with the wider network), and the associated **vehicle movements** (including the type and volume of vehicles) may individually or cumulatively impact on residential **amenity values** and the safety and efficiency of the transport network.
- c. The effect of any additional **access** points on the safety and efficiency of the **adjoining road** network, having regard to the level and type of traffic using the proposed **access** point, the

location and design of the proposed **access** point and the adequacy of existing or alternative **access** points.

- d. The degree to which safe and efficient pedestrian and cycle **access** is provided through the industrial zone, and with the **adjoining** area and wider transport networks.
- e. The effectiveness of treatment in the location marked on the **outline development plan** as 'Traffic treatment to prevent heavy vehicle access' or alternative measures to avoid **heavy vehicle movement** through the **adjoining** residential zone.
- f. The degree to which the industrial zone is easily **accessible** by public transport including any bus services.
- g. The effectiveness of the design, construction and operation of stormwater facilities in managing stormwater on-site including retention, infiltration and treatment.
- h. The ability for the stormwater system to be adequately maintained, particularly if it remains in private ownership.
- i. The extent to which treatment and disposal methods conform to the **Council's** guidelines for stormwater management systems.
- j. The extent to which any stormwater system recognises and/or provides for those values of importance to Ngāi Tahu/mana whenua and in particular the maintenance and enhancement of water quality and mahinga kai values.
- k. The extent to which open space corridors are wide and landscaped to a high standard to promote safe and convenient movement through the zone and with **adjoining** areas while enhancing amenity, supporting ecological values, and recognising Ngāi Tahu/mana whenua values.
- l. The extent to which development recognises and protects **sites** of significance to Ngāi Tahu/mana whenua and values associated with traditional places including headwaters.
- m. The extent to which the Rūnanga have been consulted on the proposal and are satisfied that any effects on wāhi tapu and wāhi taonga are mitigated.
- n. Whether a Cultural Impact Assessment has been undertaken that demonstrates that a development will not adversely affect wāhi tapu me wāhi taonga.
- o. The degree to which the recommendations of the Cultural Impact Assessment have been addressed in the design/ development of the **site**.
- p. The development provides for an indigenous tree planting corridor, and planting of indigenous species within the corridor.

16.7.3.13 Area-specific rules - Matters of discretion - Industrial Park Zone (Wairakei Road)

16.7.3.13.1 Minimum building setback from the boundary with the Rural Urban Fringe Zone & Specific Purpose (School) Zone - Industrial Park Zone (Wairakei Road)

- a. The extent to which an intrusion into the **setback** from the **boundary**:
 - i. adversely affects the amenity and character of the **adjoining** zone, and
 - ii. adversely affects the anticipated character and amenity of the zone as a park-like environment, as viewed from the **adjoining** properties.
- b. The extent to which effects of an intrusion into the **setback** are minimised by screening, **landscaping**, **building** scale, form and design to the extent that the intended character and high level of amenity of the Industrial Park Zone (Wairakei Road) is maintained.

16.7.3.13.2 Landscaping in the Industrial Park Zone (Wairakei Road)

- a. The extent to which development provides for and creates a green corridor through the zone that incorporates **landscaping** including existing vegetation, and enhances multiple values including stormwater retention, water quality treatment, biodiversity enhancement, Ngāi Tahu/ mana whenua values and landscape amenity.
- b. The extent to which **landscaping** provides a buffer between the industrial zone and the adjacent Rural Urban Fringe Zone and Specific Purpose (School) Zone, while effectively screening **buildings**, parking and storage areas.
- c. The degree to which any effects on amenity and character of the **adjoining** environment are mitigated through **landscaping**.

16.7.3.13.3 Roading and access - Industrial Park Zone (Wairakei Road)

- a. The extent to which the location of **vehicle access** points (including additional **road access** points), the design of the transport network (including **road** alignment and intersection design within the Industrial Park Zone (Wairakei Road) Outline Development Plan ([Appendix 16.8.14](#)) area and connections with the wider network), and the associated **vehicle movements** (including the type and volume of vehicles) may individually or cumulatively impact on the character and amenity of the zone, and safety and efficiency of the transport network.
- b. The extent to which the location and design of the **vehicle access** points are integrated with **landscaping** along the zone **boundary** and does not compromise the amenity and appearance of the zone as viewed from an **adjoining road**.
- c. The extent to which pedestrian and cycle movement through the zone and to the wider transport network and Nunweek Park are facilitated by pedestrian and **cycle ways**.
- d. The extent to which the principles of **Crime Prevention through Environmental Design** have been incorporated into the design of pedestrian and **cycle ways** to support their use and the safety of users.

16.7.3.13.4 Outline development plan - Industrial Park Zone (Wairakei Road)

- a. The extent to which development is in accordance with the Industrial Park Zone (Wairakei Road) Outline Development Plan ([Appendix 16.8.14](#)).
- b. The degree to which stormwater management areas are suitably located for managing stormwater quality and quantity within the Industrial Park Zone (Wairakei Road) Outline Development Plan ([Appendix 16.8.14](#)) area.
- c. The extent to which any stormwater system recognises and/or provides for values of importance to Ngāi Tahu/ mana whenua and in particular the maintenance and enhancement of water quality and mahinga kai values.
- d. The degree to which stormwater retention basins and open space are located so as to provide an effective buffer between industrial and residential properties.
- e. The extent to which stormwater basins and open space areas are co-located so as to maximise recreational and amenity opportunities.

16.7.3.14 Activity-specific rules - Matters of discretion - Industrial Park Zone (Memorial Avenue)

16.7.3.14.1 Outline development plan - Industrial Park Zone (Memorial Avenue)

- a. The extent to which development is in accordance with the Industrial Park Zone (Memorial Avenue) Outline Development Plan in [Appendix 16.8.15](#).
- b. The extent to which the location and staging of vehicular **access** points and the design of the transport network (including **road** alignment and intersection design within the Industrial Park Zone (Memorial Avenue) Outline Development Plan in [Appendix 16.8.15](#) and connections with the wider network) may individually or cumulatively impact on residential **amenity values** and the safety, efficiency and connectivity of the transport network.
- c. The extent to which the location of **visitor accommodation** outside the areas defined on the Industrial Park Zone (Memorial Avenue) Outline Development Plan in [Appendix 16.8.15](#) as “Guest accommodation restricted to this area” reduces the opportunity for **visitor accommodation** fronting Memorial Avenue and Russley Road, having regard to the limit of 200 bedrooms within the zone.
- d. The degree to which **visitor accommodation** outside the areas defined on the Industrial Park Zone (Memorial Avenue) Outline Development Plan in [Appendix 16.8.15](#) as “Guest accommodation restricted to this area” reduces capacity or erodes the integrity and function of the zone for industrial activities.
- e. The degree to which **visitor accommodation** outside the areas defined on the Industrial Park Zone (Memorial Avenue) Outline Development Plan in [Appendix 16.8.15](#) as “Guest accommodation restricted to this area” may lead to **reverse sensitivity** effects on existing and/or potential use of the land for industrial activities.

16.7.3.14.2 Design and amenity - Industrial Park Zone (Memorial Avenue)

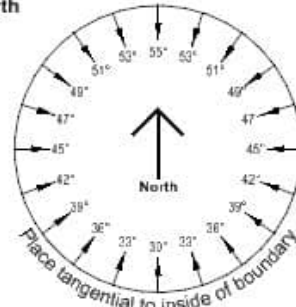
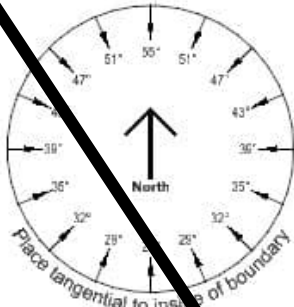
- a. The extent to which the design of the **buildings** will support the development of and maintain a high quality urban environment, having regard to:
 - i. the degree of variation in form, bulk, location, orientation and **height** of the **building**; and
 - ii. the avoidance of large expanses of wall or repetitious **building** forms; and
 - iii. the choice of materials.
- b. The architectural treatment of the **building** elevations including the design, architectural features and details, use of colour and **building** materials.
- c. The extent to which space and **landscaping** is as prominent as the built form to achieve a high amenity environment.
- d. The extent to which the location of security fencing detracts from the visual amenity and landscape planting along the street **frontage**.
- e. The extent to which any **signage** on **buildings** is integrated with the architectural detail of a **building**.
- f. The extent to which showrooms, **offices** and areas for the display of goods are positioned to face Memorial Avenue and Russley Road to maximise visual interest.
- g. The extent to which car parking and **loading areas**, service areas and outdoor storage are effectively screened from public view by **landscaping**.
- h. The effectiveness of mitigation including **landscaping** in reducing the adverse effects of **buildings**, including their scale and appearance, on the **adjoining** environment including Memorial Avenue, Russley Road and Avonhead Road.
- i. The choice of materials and colours/reflectivity of facades to reduce the prominence of **buildings** in the landscape.
- j. Whether development is oriented to Memorial Avenue and encourages pedestrian movement between **buildings** and spaces within the zone.

16.8 Appendices

Appendix 16.8.11 Recession Plane Diagrams

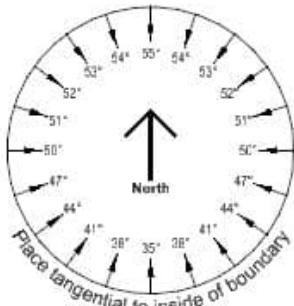
Appendix 16.8.11 - Recession Plane Diagram

Note: North is true north



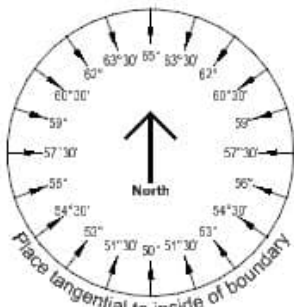
- A** Applicable to all buildings:
- in the Residential Suburban Zone
 - on sites in other non-residential zones that adjoin the Residential Suburban Zone

- B** Applicable to all buildings:
- Residential Suburban density overlay
 - On sites on other non-residential zones that adjoin the Residential Suburban density overlay area



- C** Applicable to all buildings:
- in the Residential Medium Density Zone
 - on sites in other non-residential zones that adjoin the Residential Medium Density Zone

- D** Applicable to all buildings:
- in the medium density higher height limit zones
 - on sites in other non-residential zones that adjoin the medium density higher height limit zones
 - in the medium density higher height limit zones (except those buildings over 11 metres in height)
 - on sites in other non-residential zones that adjoin the medium density (except those over 11 metres in height)



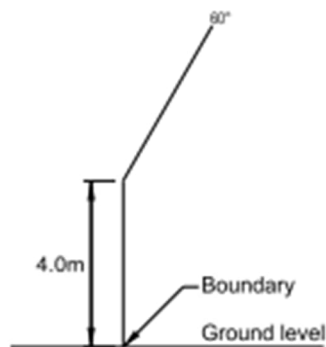
- E** Applicable to all buildings:
- over 11 metres in height in the medium density higher height limit zones
 - over 11 metres in height on sites in other non-residential zones that adjoin the medium density higher height limit zones

Appendix 16.8.11 - Recession Plane Diagram

Note: North is true north



- Applicable to all buildings:
 - in the medium density higher height limit zones
 - on sites in other non-residential zones that adjoin the medium density higher height limit zones
 - in the medium density higher height limit zones (except those buildings over 11 metres in height)
 - on sites in other non-residential zones that adjoin the medium density (except those over 11 metres in height)
 - in non-residential zones that adjoin residential zones
 - in the central city that adjoin an Open Space Community Parks Zone, Open Space Water and Margins Zone and Avon River Precinct/ Te Papa Ōtakaro Zone



IHP RECOMMENDATIONS