

**BEFORE INDEPENDENT HEARING COMMISSIONERS  
IN CHRISTCHURCH**

**TE MAHERE Ā-ROHE I TŪTOHUA MŌ TE TĀONE O ŌTAUTAHI**

**IN THE MATTER** of the Resource Management Act 1991

**AND**

**IN THE MATTER** of the hearing of submissions on Plan Change 14 (Housing and Business Choice) to the Christchurch District Plan

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**STATEMENT OF PRIMARY EVIDENCE OF GAVIN JOHN STANLEY ON  
BEHALF OF CHRISTCHURCH CITY COUNCIL**

**QUALIFYING MATTER: HERITAGE (HERITAGE SITES)**

Dated: 11 August 2023

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## TABLE OF CONTENTS

|   |    |
|---|----|
| EXECUTIVE SUMMARY .....   | 1  |
| INTRODUCTION .....  | 1  |
| QUALIFICATIONS AND EXPERIENCE .....   | 3  |
| CODE OF CONDUCT .....   | 4  |
| SCOPE OF EVIDENCE .....   | 4  |
| #824 - HIN 390 - FORMER DWELLING AND SETTING – 32 ARMAGH STREET;<br>325 MONTREAL STREET, CHRISTCHURCH.....  | 4  |
| #874 - HIN 185 - DWELLING, DARESBUY AND SETTING - 9 DARESBUY<br>LANE, 67 AND 67B FENDALTON ROAD, CHRISTCHURCH.....  | 5  |
| #1043 – HIN 194 – FORMER DWELLING AND SETTING – 471 FERRY ROAD,<br>CHRISTCHURCH .....   | 7  |
| #1056 – HIN 1060 – MITRE HOTEL AND SETTING – 40 NORWICH QUAY .....  | 8  |
| #1092 - HIN 78 - COMMERCIAL BUILDING AND SETTING HARLEY CHAMBERS<br>- 137 CAMBRIDGE TERRACE, CHRISTCHURCH.....  | 10 |
| <br>  |    |
| APPENDIX A: 3380/004 R2 – BUDGET REPAIR ESTIMATE – HIN 390 –<br>FORMER DWELLING AND SETTING – 325 MONTREAL STREET,<br>CHRISTCHURCH – 04 AUGUST 2023                       |    |
| APPENDIX B: 3380/002 R2 – REPAIR QUOTATION REVIEW – HIN 185 –<br>DARESBUY LANE, 67 FENDALTON – 02 AUGUST 2023   |    |
| APPENDIX C: 3380/003 R2 – BUDGET REPAIR ESTIMATE – HIN 194 –<br>PORTSTONE, 471 FERRY ROAD, WOOLSTON, CHRISTCHURCH – 04<br>AUGUST 2023                                     |    |
| APPENDIX D: 3380/007 R2 – REVIEW REPORT – HIN 1060 – MITRE HOTEL<br>AND SETTING – 40 NORWICH QUAY, LYTTTELTON – 02 AUGUST 2023  |    |
| APPENDIX E: 3380/001 R3 – ESTIMATE REVIEW REPORT – HIN 78 –<br>COMMERCIAL BUILDING AND SETTING, HARLEY CHAMBERS – 137<br>CAMBRIDGE TERRACE, CHRISTCHURCH – 04 AUGUST 2023 |    |

## EXECUTIVE SUMMARY

1. My full name is **Gavin John Stanley**. I am a founding member and a Senior Quantity Surveyor at Rhodes + Associates Limited.
2. I have prepared this statement of evidence on behalf of the Christchurch City Council (the **Council**) in respect of matters arising from the submissions and further submissions on Plan Change 14 to the Christchurch District Plan (the **District Plan; PC14**).
3. My evidence relates to budgets/estimates provided by building owners/representatives and relates to whether or not these budgets/estimates are reasonable for the projects as listed below:
  - (a) #824 - HIN 390 - Former Dwelling and Setting – 32 Armagh Street; 325 Montreal Street, Christchurch;
  - (b) #874 - HIN 185 - Dwelling, Daresbury and Setting - 9 Daresbury Lane, 67 and 67B Fendalton Road, Christchurch;
  - (c) #1043 - HIN 194 - Former Dwelling and Setting – 471 Ferry Road, Christchurch;
  - (d) #1056 - HIN 1060 - Mitre Hotel and Setting – 40 Norwich Quay, Lyttelton; and
  - (e) #1092 - HIN 78 - Commercial Building and Setting Harley Chambers - 137 Cambridge Terrace, Christchurch.

## INTRODUCTION

4. I am **Gavin John Stanley**; I am a founding member and a Senior Quantity Surveyor at Rhodes + Associates Limited. I have been at Rhodes + Associates Limited since its inception in January 2013.
5. I have been appointed by the Council to:
  - (a) Provide comment on quotations and estimates provided for the projects listed previously.
  - (b) Update those quotations and estimates.
  - (c) Update estimates that I had previously provided.

- (d) Provide estimates based on \$/m<sup>2</sup> where required (all figures identified exclude GST).
  - (e) Exclude any additional works to the original quotations or estimates, including works that may have been required due to further deterioration of the property.
6. I have not been appointed to check the quantities provided or to give any commentary of methodology for repair or rebuild.
7. In preparing this evidence I have:
- (a) Read the submissions relating to the relevant sites (#824, #874, #1043, #1056, #1092).
  - (b) Undertaken site visits to the following:
    - (i) #824 - HIN 390 - Former Dwelling and Setting – 32 Armagh Street; 325 Montreal Street, Christchurch.
    - (ii) #874 - HIN 185 - Dwelling, Daresbury and Setting - 9 Daresbury Lane, 67 and 67B Fendalton Road, Christchurch.
    - (iii) #1043 - HIN 194 - Former Dwelling and Setting – 471 Ferry Road, Christchurch.
    - (iv) #1056 - HIN 1060 - Mitre Hotel and Setting – 40 Norwich Quay, Lyttelton.
    - (v) #1092 - HIN 78 - Commercial Building and Setting Harley Chambers - 137 Cambridge Terrace, Christchurch.
8. I have used the following method to calculate escalation on all provided budgets/estimates supplied.
- (a) All escalation has been calculated using the calculator provided within the 'New Zealand standard conditions of contract for building and civil engineering construction NZS 3910:2013' in particular 'Appendix A – Cost fluctuation by indexation'.
  - (b) The indices which are required for the calculations are updated on a quarterly basis and are published at <http://archive.stats.govt.nz/infoshare/> by Statistics New Zealand.

(c) Indices had only been published to the end of March 2023 (2023Q1), I have allowed for further escalation to the end of July 2023 (2023Q3), which for simplicity I have made allowances for indices for the remaining period in line with movement of the previous quarter published, quarters 2022Q4 and 2023Q1.

9. I am authorised to provide this evidence on behalf of the Council.

### **QUALIFICATIONS AND EXPERIENCE**

10. I hold the qualifications of BSc in Quantity Surveying from the University of Wolverhampton, United Kingdom.
11. I have worked as a Quantity Surveyor for 34 years for both Contractors and Private Practice.
12. Whilst in the United Kingdom I worked for a contractor which conducted extensive works to properties for both 'The National Trust' and 'English Heritage'. The majority of works undertaken concentrated on restoration and preservation of those buildings which were of Grade 1 (exceptional national, architectural or historical importance), Grade 2\* (buildings of high importance and are deemed as having more than special interest) and Grade 2 (buildings are of special interest).
13. I moved to New Zealand in June 2011 and initially worked for WT Partnership. In January 2013 I was invited to help form Rhodes + Associates with Lindsey Rhodes where I am a shareholder and Senior Quantity Surveyor.
14. I have been extremely fortunate whilst working in New Zealand to continue to be involved with various heritage projects across the country.
15. I have been involved with 'The Arts Centre of Christchurch' a major heritage project since 2011 and was instrumental with Lindsey Rhodes in setting budgets and providing financial/contractual advice in the initial stages for the repair and rebuild of an extremely challenging but rewarding project.
16. The Council had previously appointed me to provide expert evidence during 2015-2016 in respect of the Christchurch Replacement District Plan.
17. I am an Affiliate member of the New Zealand Institute of Quantity Surveyors.

## **CODE OF CONDUCT**

18. While this is a Council hearing, I have read the Code of Conduct for Expert Witnesses (contained in the 2023 Practice Note) and agree to comply with it. Except where I state I rely on the evidence of another person, I confirm that the issues addressed in this statement of evidence are within my area of expertise, and I have not omitted to consider material facts known to me that might alter or detract from my expressed opinions.

## **SCOPE OF EVIDENCE**

19. My statement of evidence addresses the following matters:
- (a) To review and update costing information provided relevant to each heritage item.
  - (b) To provide budget estimates for various schemes where requested if that information is missing.
  - (c) To exclude any additional works which may be required since the costing information was published or due to further deterioration of the building.
20. I address each of these points in my evidence below.

### **#824 - HIN 390 - FORMER DWELLING AND SETTING – 32 ARMAGH STREET; 325 MONTREAL STREET, CHRISTCHURCH**

21. I conducted a site inspection on my own in respect of this site on Wednesday 26 July 2023. I was only able to inspect the outside of the premises as no internal access was available. I had previously inspected the premises on 09 November 2015 with Ms Jackie Gillies (Conservation Architect) where we conducted both an external and internal inspection.
22. I have used the following information in undertaking this costing exercise:  
Rhodes + Associates Limited – Repair Cost Estimate Report – Case 3212/HIN 390 – Former Dwelling and Setting – 325 Montreal Street, Christchurch – 01 December 2015 (attached as part of **Appendix A**).
23. No costings have been provided by the building owner or their representative.
24. I was instructed by the Council to:

- (a) Update on my original Repair Cost Estimate Report.
- (b) Exclude any additional works to those identified in the estimate and excluding works that may have been required due to further deterioration of the property.

25. Results of estimates are as follows:

| <b>Rhodes + Associates Limited – Budget Repair Estimate</b> | <b>Value Excluding GST</b> |
|---|----------------------------|
| 01 December 2015  | \$161,299                  |
| 10 July 2023  | \$259,000                  |
| <b>Increase in cost</b>                                     | <b>\$97,701</b>            |

26. Note the original estimate date 01 December 2015 stated 'including GST' when it should have stated 'excluding GST'.

27. I have attached the following to my evidence (attached as **Appendix A**) which includes full commentary and calculations: 3380/004 R2 – Budget Repair Estimate – HIN 390 – Former Dwelling and Setting – 325 Montreal Street, Christchurch – 04 August 2023.

**#874 - HIN 185 - DWELLING, DARESBUY AND SETTING - 9 DARESBUY LANE, 67 AND 67B FENDALTON ROAD, CHRISTCHURCH**

28. I conducted a site inspection with Amanda Ohs (Senior Heritage Advisor at the Council), Stephen Hogg (Structural Engineer - Aurecon) and James Milne (Building Owner - Milne Construction) on Tuesday 18 July 2023.

29. I have used the following information in undertaking this costing exercise (attached to **Appendix B**):

*Milne Construction*

- (a) Daresbury House – Reduced Repair Quotation dated 03 July 2019, based upon repair works in accordance with Quoin Structural Assessment Report – 17 May 2019;

*DPA Architects*

- (b) Drawings;

- (i) A102 Ground Floor Existing;
- (ii) A105 First Floor Existing; and
- (iii) A106 Second Floor Existing.

30. I was instructed by the Council to:

- (a) Review the 'Reduced Repair Quotation' by Milne Construction.
- (b) Update the quotation by including allowances for escalation likely to have incurred from the point at which that quotation was completed.
- (c) Exclude any additional works to those identified in the quotation and excluding works that may have been required due to further deterioration of the property.
- (d) Exclude a check on measured quantities identified in the quotation.
- (e) Exclude the removal of items that could be considered as betterment.

31. I have reviewed Milne Constructions 'Reduced Repair Quotation' and have allowed for escalation. I did adjust Milne Construction's summary to align with how I would have carried out an estimate, results as follows:

| <b>Milne Construction – Reduced Repair Option</b>                                   | <b>Value Excluding GST</b> |
|---|----------------------------|
| Milne Construction 3 <sup>rd</sup> July 2019  | \$5,419,124                |
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$6,875,781                |
| <b>Increase of quotation</b>  | <b>\$1,456,657</b>         |

32. In addition to reviewing the figures provided by Milne Construction, I was instructed by the Council to provide various budget estimate replacement costs based on the current GFA (gross floor area) of 1,643 m<sup>2</sup> for the property including demolition and excluding external works:

- (a) Replacement replica (reconstruction using alternative materials and construction methods to achieve the overall look of the original) – budgeted at \$8,000/m<sup>2</sup> which gives a replacement budget of \$13,144,000; and



- (b) Replacement modern high end multi-level house (replacement with a modern structure with a high standard of finish which would not bear any resemblance to the existing) – budgeted between \$7,000/m<sup>2</sup> and \$10,000/m<sup>2</sup> which gives a replacement budget of between \$11,501,000 and \$16,430,000.
33. I have attached the following to my evidence (as **Appendix B**) which includes full commentary and calculations: 3380/002 R2 – Repair Quotation Review – HIN 185 – Daresbury Lane, 67 Fendalton – 02 August 2023.

**#1043 – HIN 194 – FORMER DWELLING AND SETTING – 471 FERRY ROAD, CHRISTCHURCH**

34. I conducted a site inspection with Gareth Wright (Heritage Advisor at the Council), Clara Caponi (Structural Engineer – Egis NZ Limited), Timothy Holmes (Heritage Architect – Warren and Mahoney) and Elizabeth Wilson (Building Owner) on 24 July 2023. I had previously conducted a site visit with Gareth Wright (Heritage Advisor at the Council) on 24 June 2013.
35. I have used the following information in undertaking this costing exercise (attached as part of **Appendix C**): *Rhodes + Associates Limited* – Budget Repair Estimate – Portstone, 471 Ferry Road, Woolston, Christchurch – 22 January 2014.
36. No costings have been provided by the building owner or their representative.
37. I was instructed by the Council to:
- (a) Update on my original Budget Repair Estimate.
- (b) Exclude any additional works to those identified in the estimate and excluding works that may have been required due to further deterioration of the property.
38. Results of estimates are as follows:

| <b>Rhodes + Associates Limited – Budget Repair Estimate</b> | <b>Value Excluding GST</b> |
|---|----------------------------|
| 22 January 2014   | \$577,000                  |
| 06 July 2023  | \$705,000                  |
| <b>Increase in cost</b>                                     | <b>\$128,000</b>           |

39. I have attached the following to my evidence (as **Appendix C**) which includes full commentary and calculations: 3380/003 R2 – Budget Repair Estimate – HIN 194 – Portstone, 471 Ferry Road, Woolston, Christchurch – 04 August 2023.

**#1056 – HIN 1060 – MITRE HOTEL AND SETTING – 40 NORWICH QUAY**

40. I conducted a site inspection with Amanda Ohs (Senior Heritage Advisor at the Council), Clara Caponi (Structural Engineer – Egis NZ Limited) and Timothy Holmes (Heritage Architect – Warren and Mahoney) on 24 July 2023.

41. I have used the following estimates in undertaking this costing exercise (attached as part of **Appendix D**):

*CERES New Zealand LCC*

- (a) Proposal for Mitre Tavern at 40 Norwich Quay – 27 February 2012;
- (b) Make safe remedial works – 28 March 2012;

*Prendos New Zealand Limited*

- (c) Rebuild Estimate – 09 May 2017;

*Wheelers Limited*

- (d) Mitre Hotel, Lyttelton, Canterbury – 20 November 2014.

42. I was instructed by the Council to:

- (a) Review the Estimates produced by CERES New Zealand Limited, Prendos New Zealand Limited and Wheelers Limited.
- (b) Update the estimates by including allowances for escalation likely to have incurred from the point at which that quotation was completed.
- (c) Exclude any additional works to those identified in the estimates and excluding works that may have been required due to further deterioration of the property.
- (d) Exclude a check on measured quantities identified in the quotation.

43. Results of reviews incorporating escalation and adjustments of calculations are as follows (includes \$/m<sup>2</sup> based on 802 m<sup>2</sup> GFA):

(a) Option 1 - Demolition and rebuild option

| <b>Prendos New Zealand Limited</b>  | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| Prendos New Zealand Limited 09 May 2017   | \$3,188,456                | \$3,975.63                            |
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$4,795,884                | \$5,979.91                            |
| <b>Increase of estimate</b>   | <b>\$1,607,428</b>         | <b>\$2,004.27</b>                     |

(b) Option 2 - Demolition and rebuild options including the retention and repair of the existing southern and eastern facades

| <b>Prendos New Zealand Limited with CERES New Zealand Limited</b>                   | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$5,886,028                | \$7,339.19                            |

(c) Option 3 - Repair

| <b>Wheeler's Limited estimates 20 November 2014</b>               | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| Event September 2010  | \$92,716                   | ---                                   |
| Event February 2011   | \$2,653,159                | ---                                   |
| Event June 2011   | \$279,925                  | ---                                   |
| <b>Total combined events</b>                                      | <b>\$3,025,800</b>         | <b>\$3,772.82</b>                     |
| Rhodes + Associates Limited adjusted with escalation to July 2023 | \$4,019,850                | \$5,012.28                            |
| <b>Increase in estimate</b>                                       | <b>\$994,051</b>           | <b>\$1,239.47</b>                     |

44. In addition to reviewing the estimates by CERES New Zealand Limited, Prendos New Zealand Limited and Wheeler's Limited, I was instructed by the Council to provide an additional replacement cost estimate based on the

current GFA (gross floor area) of 802 m<sup>2</sup> to the property including demolition and excluding external work for a modern alternative:

- (a) Demolition and replacement with a modern building (which would not bear any resemblance to the existing) – budgeted between \$4,500/m<sup>2</sup> and \$5,000/m<sup>2</sup> which gives a replacement budget of between \$3,609,000 and \$4,010,000.

45. I have attached the following to my evidence (as **Appendix D**) which includes full commentary and calculations: 3380/007 R2 – Review Report – HIN 1060 – Mitre Hotel and Setting – 40 Norwich Quay, Lyttelton – 02 August 2023.

**#1092 - HIN 78 - COMMERCIAL BUILDING AND SETTING HARLEY CHAMBERS - 137 CAMBRIDGE TERRACE, CHRISTCHURCH**

46. I conducted a site inspection with Amanda Ohs (Senior Heritage Advisor – Christchurch City Council), Stephen Hogg (Structural Engineer - Aurecon), David Pearson (Heritage Architect – DPA Architects) and Michael Doig (Building Owners Representative) on 18 July 2023

47. I have used the following estimates in undertaking this costing exercise (attached as part of **Appendix E**): AECOM New Zealand Limited: Harley Chambers Redevelopment Cost Estimate Options – 22 September 2017 (part of Resource Consent Application to the Christchurch City Council – December 2017)

48. I was instructed by Christchurch City Council to:

- (a) Review the Redevelopment Cost Estimate Options by AECOM New Zealand Limited.
- (b) Update the estimates by including allowances for escalation likely to have incurred from the point at which that quotation was completed.
- (c) Exclude any additional works to those identified in the quotation and excluding works that may have been required due to further deterioration of the property.
- (d) Exclude a check on measured quantities identified in the quotation.

49. Results of reviews incorporating escalation and adjustments of calculations as follows (includes \$/m<sup>2</sup> based on 2,281 m<sup>2</sup> GFA):

(a) 2.1 - Option 1A: Building reinstatement and strengthening (34% NBS)

| <b>AECOM New Zealand Limited</b>  | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| AECOM New Zealand Limited 22 September 2017   | \$12,800,000               | \$5,611.57                            |
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$16,204,671               | \$7,104.20                            |
| <b>Increase of estimate</b>   | <b>\$3,404,671</b>         | <b>\$1,492.62</b>                     |

(b) 2.2 - Option 1B: Building reinstatement and strengthening (67% NBS)

| <b>AECOM New Zealand Limited</b>  | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| AECOM New Zealand Limited 22 September 2017   | \$17,070,000               | \$7,483.56                            |
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$21,610,447               | \$9,474.11                            |
| <b>Increase of estimate</b>   | <b>\$4,540,447</b>         | <b>\$1,990.55</b>                     |

(c) 2.3 - Option 1C: Building reinstatement and strengthening (100% NBS)

| <b>AECOM New Zealand Limited</b>  | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| AECOM New Zealand Limited 22 September 2017   | \$18,790,000               | \$8,237.62                            |
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$23,787,949               | \$10,428.74                           |
| <b>Increase of estimate</b>   | <b>\$4,997,949</b>         | <b>\$2,191.12</b>                     |

(d) 3.1 – Replica modern replacement (100% NBS)

| <b>AECOM New Zealand Limited</b>            | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| AECOM New Zealand Limited 22 September 2017 | \$10,700,000               | \$4,690.93                            |

|   |                    |                   |
|---|--------------------|-------------------|
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$13,652,435       | \$5,985.28        |
| <b>Increase of estimate</b>   | <b>\$2,952,435</b> | <b>\$1,294.36</b> |

- (e) 3.2 – Option 2A: Retained historic façade with new open plan office building connected (100% NBS)

| <b>AECOM New Zealand Limited</b>  | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| AECOM New Zealand Limited 22 September 2017   | \$14,740,000               | \$6,462.08                            |
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$18,660,691               | \$8,180.92                            |
| <b>Increase of estimate</b>   | <b>\$3,920,691</b>         | <b>\$1,718.85</b>                     |

- (f) 3.3 – Option 2B: New open plan office (100% NBS)

| <b>AECOM New Zealand Limited</b>  | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Excluding GST</b> |
|---|----------------------------|---------------------------------------|
| AECOM New Zealand Limited 22 September 2017   | \$9,760,000                | \$4,278.83                            |
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$12,356,061               | \$5,416.95                            |
| <b>Increase of estimate</b>   | <b>\$2,596,061</b>         | <b>\$1,138.12</b>                     |

50. In addition to reviewing the estimates by AECOM New Zealand Limited, I was instructed by the Council to provide them with an extra value estimate for the retention of the existing façade to both Worcester Boulevard and Cambridge Terrace that could be incorporated within potential new schemes. This has been calculated by extrapolating figures from various AECOM New Zealand Limited estimates and based on a façade area of 820 m2.

| <b>AECOM New Zealand Limited</b>  | <b>Value Excluding GST</b> | <b>\$/m<sup>2</sup> Façade Excluding GST</b> |
|---|----------------------------|--|
| AECOM New Zealand Limited 22 September 2017   | \$5,076,000                | \$6,190.24                                   |
| Rhodes + Associates Limited with calculation adjustment and escalation to July 2023 | \$6,426,165                | \$7,836.79                                   |
| <b>Increase of estimate</b>   | <b>\$1,350,165</b>         | <b>\$1,646.54</b>                            |

51. We would note a potential issue with the area of façade included within AECOM New Zealand Limited's measure which appears to have been stated as 820 m<sup>2</sup>.
52. From the available information we have estimated the façade area to be retained to be around 700 m<sup>2</sup> a potential difference of 120 m<sup>2</sup>. If the \$7,836.79/m<sup>2</sup> was applied on a pro rata basis to the 700 m<sup>2</sup> the extra value for the retention of the façade would be \$5,485,753, a potential reduction of \$940,412.
53. I would suggest that further investigations are carried out on the element to support the figures tabled by AECOM New Zealand Limited considering the values involved.
54. I have attached the following to my evidence (as **Appendix E**) which includes full commentary and calculations: 3380/001 R3 – Estimate Review Report – HIN 78 – Commercial Building and Setting, Harley Chambers – 137 Cambridge Terrace, Christchurch – 04 August 2023.

Dated: 11 August 2023

**Gavin John Stanley**

**APPENDIX A: 3380/004 R2 – BUDGET REPAIR ESTIMATE – HIN 390 –  
FORMER DWELLING AND SETTING – 325 MONTREAL STREET,  
CHRISTCHURCH – 04 AUGUST 2023**

(overleaf)



4 August 2023

Te Hononga Civic Offices  
53 Hereford Street  
CHRISTCHURCH 8013

Attn: Amanda Ohs (e: Amanda.ohs@ccc.govt.nz)

Dear Amanda

**3380/004 R2 – BUDGET REPAIR ESTIMATE – HIN 390 – FORMER DWELLING AND SETTING – 325  
MONTREAL STREET, CHRISTCHURCH**

Please find enclosed our revised budget repair estimate of **\$259,000 (two hundred and fifty-nine thousand dollars)** excluding GST for the works to the above-mentioned project as detailed below.

Please refer to the enclosed report which provides further detail on clarifications, exclusions and assumptions made.

Should you have any queries, please do not hesitate to contact the writer.

Yours faithfully



Gavin Stanley  
BSc QS NZIQS (Affil)  
Project Cost Consultant  
**Rhodes + Associates Limited**

## **EXECUTIVE SUMMARY**

Rhodes + Associates Limited have been appointed by Christchurch City Council to provide a revised repair cost estimate for the former dwelling and setting at 325 Montreal Street, Christchurch using modern construction techniques to comply with current building regulations.

As this is a revised repair cost estimate Rhodes + Associates Limited have made certain assumptions on the method of construction and the services taking into account their experience on these types of works. This cost estimate allows for repairs works to match the existing design and level of quality no better or no less.

This report has been prepared specifically for Christchurch City Council. Rhodes + Associates Limited accepts no liability in the event this report is used for any other purpose or by any other party.

## CLARIFICATIONS AND EXCLUSIONS

The revised repair costs presented in this report are our opinion of the likely repair cost and are provided in accordance with the Scope of Works agreed with Jackie Gillies (Expert Witness - Conservation Architect).

This update is based upon Rhodes + Associates Limited original budget repair estimate dated 01 December 2015 (see Appendix A) (note original estimate stated including GST where it should have stated excluding GST) and as such no allowance has been made for any further deterioration or additional works that may now be required to the building that may have occurred beyond that period.

### Documentation (see Appendix B)

- Site visit 09 November 2015
- Notice of Submission on the Proposed Christchurch Replacement District Plan – Submitted by Christ' College – 03 September 2015
- The Caretaker's Cottage Cranmer Centre Christchurch – A Conservation Plan – David Pearson Architects - January 2003
- Scope of Works agreed with Jackie Gilles dated 16 November 2015

### Procurement

- It has been assumed the market is competitive with no adjustment included for inflationary factors associated with a major event
- The works are to be negotiated with a fixed lump sum contract
- Estimated contract period – 12 Weeks

### Clarifications

- All external joinery, roofing and rainwater goods are to be redecorated.
- All internal walls, ceilings and joinery are to be redecorated
- Within room G4 a substantial amount of the ceiling has been replaced with hardboard, we have allowed for the complete replacement of this ceiling with new plasterboard
- All electrics have been allowed to be replaced complete with a new distribution board
- The bathroom is to have all sanitary wear replaced
- We have allowed for the replacement of 25% of external weatherboard
- Allowances have been made for minor repairs to the structure.

### Notable Provisional Sums

- See Section 2 for included Provisional Sums.

### Exclusions

- GST
- Security system
- Data
- White ware
- Seismic upgrading
- Delays as a result of archaeological findings
- External works unless identified within the scope of works

- Soft landscaping
- Removal of contaminated or noxious materials
- Removal of asbestos
- Prolongation costs beyond the stated programme
- Fluctuations in the exchange rate
- Loss of income, relocation and disruption costs for the period of construction
- Finance costs
- Holding costs including rates, taxes and related outgoings
- Land and legal costs
- Effects of a pandemic/war



01 December 2015

Christchurch City Council  
CHRISTCHURCH

Dear Sirs

**REPAIR COST ESTIMATE REPORT – CASE 3212/HIN 390 – FORMER DWELLING AND SETTING –325  
MONTREAL STREET, CHRISTCHURCH**

Please find enclosed our Repair Cost Estimate for the former dwelling and setting at 325 Montreal Street, Christchurch for a total amount of **\$161,300.00** (One hundred and sixty one thousand, three hundred dollars only) including GST, as per the clarifications and exclusions included within this document.

Should you have any queries, please do not hesitate to contact the writer.

Yours faithfully



Gavin Stanley BSc QS NZIQS (Affil)  
Project Cost Consultant  
**Rhodes & Associates Limited**

Rhodes & Associates Limited

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QUEENSTOWN P: 03 442 7706 | PO Box 840, Queenstown 9348, NZ CHRISTCHURCH P: 03 366 1202 | PO Box 1607, Cashel Street, Christchurch 8140, NZ



Former Dwelling and Setting  
325 Montreal Street, Christchurch  
Repair Cost Estimate  
November 2015

**EXECUTIVE SUMMARY**

Rhodes & Associates Limited have been appointed by Christchurch City Council to provide a Repair Cost Estimate for the former dwelling and setting at 325 Montreal Street, Christchurch using modern construction techniques to comply with current building regulations.

As this is a repair cost estimate Rhodes & Associates Limited have made certain assumptions on the method of construction and the services taking into account their experience on these types of works. This cost estimate allows for repairs works to match the existing design and level of quality no better or no less.

This report has been prepared specifically for Christchurch City Council. Rhodes & Associates Limited accepts no liability in the event this report is used for any other purpose or by any other party.



## CLARIFICATIONS & EXCLUSIONS

The repair costs presented in this report are our opinion of the likely repair cost and are provided in accordance with the Scope of Works agreed with Jackie Gillies (Expert Witness - Conservation Architect)

### Building Description

The house was constructed in 1875 and is of significant heritage value. The house and is approximately 123m<sup>2</sup> and is constructed on one level. The structure consists of painted weatherboard on cavity and timber framed walls.

### Procurement

- It has been assumed the market is competitive with no adjustment included for inflationary factors associated with a major event
- The works are to be negotiated with a fixed lump sum contract
- Estimated contract period – 3 months with an additional 3 months pre-contract

### Construction Clarifications

- All external joinery, roofing and rainwater goods are to be redecorated.
- All internal walls, ceilings and joinery are to be redecorated
- Within room G4 a substantial amount of the ceiling has been replaced with hardboard, we have allowed for the complete replacement of this ceiling with new plasterboard
- All electrics have been allowed to be replaced complete with a new distribution board
- The bathroom is to have all sanitary wear replaced
- We have allowed for the replacement of 25% of external weatherboard
- Allowances have been made for minor repairs to the structure.
- Provisional Sums have been provided for the following
  - Removal of tree to north east corner      \$3,000
  - Repairs to basalt foundation                      \$3,000
  - Works to attic    \$1,000

### Inclusions

- Programme requirements including documentation, tender negotiation and re-construction
- Compliance with current regulations and standards
- Professional fees and consent fees
- GST

### Exclusions

- Security system
- Data
- White ware
- Seismic upgrading
- Delays as a result of archaeological findings
- External works unless identified within the scope of works
- Soft landscaping
- Removal of contaminated or noxious materials
- Removal of asbestos
- Prolongation costs beyond the stated programme
- Fluctuations in the exchange rate
- Loss of income, relocation and disruption costs for the period of construction
- Finance costs
- Holding costs including rates, taxes and related outgoings
- Land & legal costs
- Professional Fees for Rhodes & Associates Limited for estimates and revisions

### **DOCUMENTATION**

- Site visit 09 November 2015
- Notice of Submission on the Proposed Christchurch Replacement District Plan – Submitted by Christ' College – 03 September 2015
- The Caretaker's Cottage Cranmer Centre Christchurch – A Conservation Plan – David Pearson Architects - January 2003
- Scope of Works agreed with Jackie Gilles dated 16 November 2015

## Repair Cost Estimate Summary

**Project:** Christchurch City Council  
**Building:** 3096A - 325 Montreal Street

**Details:** Scope Of Works

| No. | Description                                  | Quantity | Unit | Total             |
|-----|--|----------|------|-------------------|
| 1   | General External                             |          |      | 32,375.00         |
| 2   | Elevation - Northeast                        |          |      | 3,700.00          |
| 3   | Elevation - Northwest                        |          |      | 2,050.00          |
| 4   | Elevation - Southwest                        |          |      | 3,300.00          |
| 5   | Elevation - Southeast                        |          |      | 1,300.00          |
| 6   | General Internal                             |          |      | 39,045.00         |
| 7   | Space G-1                                    |          |      | 450.00            |
| 8   | Space G-2                                    |          |      | 1,050.00          |
| 9   | Space G-3 (Hallway)                          |          |      | 4,575.00          |
| 10  | Space G-4                                    |          |      | 1,352.00          |
| 11  | Space G-5                                    |          |      | 500.00            |
| 12  | Space G-6 (Toilet)                           |          |      | 450.00            |
| 13  | Space G-7 (Bathroom)                         |          |      | 7,765.00          |
| 14  | Space G-8                                    |          |      | 1,295.00          |
| 15  | Space G-9 (Kitchen)                          |          |      | -                 |
| 16  | Space G-10                                   |          |      | 400.00            |
| 17  | Space G-11 (Entry)                           |          |      | 1,200.00          |
| 18  | Space G-12 (Attic)                           |          |      | 3,232.00          |
|     |  |          |      | <b>104,039.00</b> |
| 19  | Preliminary & General                        |          |      | 22,860.00         |
|     |  |          |      | <b>126,899.00</b> |
| 20  | Margin                                       | 10       | %    | 12,700.00         |
|     |  |          |      | <b>139,599.00</b> |
| 21  | Professional Fees & Consent Fees             | 5        | %    | 7,000.00          |
|     |  |          |      | <b>146,599.00</b> |
| 22  | Design & Construction Contingencies          | 10       | %    | 14,700.00         |
|     | <b>Total Estimated Costs (Excluding GST)</b> |          |      | <b>161,299.00</b> |

## Repair Cost Estimate

**Project:** Christchurch City Council  
**Building:** 3096A - 325 Montreal Street

**Details:** Scope Of Works

| Ref                       | Description   | Qty | Unit | Rate     | Total            |
|---------------------------|---|-----|------|----------|------------------|
| <b>1 General External</b> |   |     |      |          |                  |
|                           | <u>Decoration</u>   |     |      |          |                  |
| 1.1                       | Full decoration of all external joinery   | 147 | m2   | 40.00    | 5,880.00         |
| 1.2                       | Full restoration of roof including complete clean out of all gutters and hoppers etc... Allow for replacement of 25% valley gutter in new galvanised to match existing.                 | 1   | Item | 5,265.00 | 5,265.00         |
| 1.3                       | Full decoration of galvanised rainwater goods including replacement of all downpipes in new 80mm galvanised pipe.   | 1   | Item | 3,015.00 | 3,015.00         |
|                           | <u>External works</u>   |     |      |          |                  |
| 1.4                       | Remove tree to north east corner - Provisional Sum  | 1   | Item | 3,000.00 | 3,000.00         |
|                           | <u>Foundation</u>   |     |      |          |                  |
| 1.5                       | Allow to remove loose materials from basalt foundation and check by stonemason as to structural integrity. Additional allowance for the installation of a flashing to cover top chamfer | 1   | Item | 4,600.00 | 4,600.00         |
| 1.6                       | Allowance for minor repairs to basalt foundation stone - Provisional Sum  | 1   | Item | 3,000.00 | 3,000.00         |
|                           | <u>Joinery</u>  |     |      |          |                  |
| 1.7                       | Allowance for general borer treatment - Provisional Sum   | 1   | Item | 1,000.00 | 1,000.00         |
| 1.8                       | Allowance of 25% replacement of weatherboard  | 37  | m2   | 180.00   | 6,615.00         |
|                           |   |     |      |          | <b>32,375.00</b> |

## 2 Elevation - Northeast

|     |   |   |      |          |          |
|-----|---|---|------|----------|----------|
|     | <u>Window</u>   |   |      |          |          |
| 2.1 | Remove aluminium cover cill and replace with new timber cill - assumed rotten                     | 1 | Item | 500.00   | 500.00   |
|     | <u>Joinery</u>  |   |      |          |          |
| 2.2 | Remove plant on timber to corner post and allow for replacement                                   | 1 | Item | 1,050.00 | 1,050.00 |
|     | <u>Ramp</u>   |   |      |          |          |
| 2.3 | Allow for the removal of the existing ramp, replace with timber step and make good area disturbed | 1 | Item | 2,150.00 | 2,150.00 |
|     | <u>Veranda</u>  |   |      |          |          |

## Repair Cost Estimate

**Project:** Christchurch City Council  
**Building:** 3096A - 325 Montreal Street

**Details:** Scope Of Works

| Ref                            | Description   | Qty | Unit | Rate     | Total              |
|--------------------------------|---|-----|------|----------|--------------------|
| <b>2 Elevation - Northeast</b> |   |     |      |          | <i>(Continued)</i> |
| 2.4                            | Missing veranda not required to be reinstated                                   | 1   | Item | Excluded | Excluded           |
|                                |   |     |      |          | <b>3,700.00</b>    |
| <b>3 Elevation - Northwest</b> |   |     |      |          |                    |
|                                | <u>Joinery</u>  |     |      |          |                    |
| 3.1                            | Remove and carry out new timber splice repair to wall post                      | 1   | Item | 500.00   | 500.00             |
| 3.2                            | Replace element of framing assumed to be rotten                                 | 1   | Item | 1,000.00 | 1,000.00           |
|                                | <u>Window</u>   |     |      |          |                    |
| 3.3                            | Carry out repairs to rotten section   | 1   | Item | 550.00   | 550.00             |
|                                |   |     |      |          | <b>2,050.00</b>    |
| <b>4 Elevation - Southwest</b> |   |     |      |          |                    |
|                                | <u>Chimney</u>  |     |      |          |                    |
| 4.1                            | Missing chimney not to be reinstated, make good wall and roof to match existing | 1   | Item | 2,600.00 | 2,600.00           |
|                                | <u>Pipework</u>   |     |      |          |                    |
| 4.2                            | Allow for the removal of exposed service pipework and make good penetrations    | 1   | Item | 700.00   | 700.00             |
|                                |   |     |      |          | <b>3,300.00</b>    |
| <b>5 Elevation - Southeast</b> |   |     |      |          |                    |
|                                | <u>External Works</u>   |     |      |          |                    |
| 5.1                            | Remove spoil and vegetation to expose foundation stone                          | 1   | Item | 800.00   | 800.00             |
|                                | <u>Joinery</u>  |     |      |          |                    |
| 5.2                            | Remove and carry out new timber splice repair to wall post                      | 1   | Item | 500.00   | 500.00             |
|                                |   |     |      |          | <b>1,300.00</b>    |
| <b>6 General Internal</b>      |   |     |      |          |                    |
|                                | <u>Decoration</u>   |     |      |          |                    |
| 6.1                            | Redecorate ceilings   | 118 | m2   | 25.00    | 2,950.00           |
| 6.2                            | Redecorate picture rails  | 35  | m    | 10.00    | 350.00             |
| 6.3                            | Redecorate skirtings  | 116 | m    | 10.00    | 1,160.00           |
| 6.4                            | Redecorate walls  | 334 | m2   | 30.00    | 10,020.00          |
|                                | <u>Doors</u>  |     |      |          |                    |

## Repair Cost Estimate

**Project:** Christchurch City Council  
**Building:** 3096A - 325 Montreal Street

**Details:** Scope Of Works

| Ref  | Description   | Qty | Unit | Rate     | Total            |
|--|---|-----|------|----------|------------------|
| <b>6 General Internal</b> <span style="float: right;">(Continued)</span> |   |     |      |          |                  |
| 6.5  | Ease and adjust all doors including redecoration                                      | 10  | No   | 380.00   | 3,800.00         |
| 6.6  | Ease and adjust cabinet doors including redecoration                                  | 5   | No   | 210.00   | 1,050.00         |
|  | <u>Windows</u>  |     |      |          |                  |
| 6.7  | Ease and adjust all windows including redecoration                                    | 9   | No   | 535.00   | 4,815.00         |
|  | <u>Electrical Services</u>  |     |      |          |                  |
| 6.8  | Allow for electrical reticulation including light fittings                            | 124 | m2   | 100.00   | 12,400.00        |
| 6.9  | Allow for distribution board  | 1   | No   | 2,500.00 | 2,500.00         |
|  |   |     |      |          | <b>39,045.00</b> |
| <b>7 Space G-1</b>   |   |     |      |          |                  |
|  | <u>Walls</u>  |     |      |          |                  |
| 7.1  | Touch up minor cracking in lath and plaster in lime plaster and restore affected area | 1   | Item | 200.00   | 200.00           |
|  | <u>Windows</u>  |     |      |          |                  |
| 7.2  | Replace damaged sash cord   | 1   | Item | 250.00   | 250.00           |
| 7.3  | Retain damaged glass with minor damage  | 1   | Item | No Cost  | No Cost          |
|  |   |     |      |          | <b>450.00</b>    |
| <b>8 Space G-2</b>   |   |     |      |          |                  |
|  | <u>Door</u>   |     |      |          |                  |
| 8.1  | Carry out repairs to door   | 1   | Item | 650.00   | 650.00           |
|  | <u>Walls</u>  |     |      |          |                  |
| 8.2  | Fill crack in lath and plaster in lime plaster, reline and restore affected area      | 1   | Item | 200.00   | 200.00           |
| 8.3  | Replace damaged glass   | 1   | Item | 200.00   | 200.00           |
|  |   |     |      |          | <b>1,050.00</b>  |
| <b>9 Space G-3 (Hallway)</b>   |   |     |      |          |                  |
|  | <u>Ceiling</u>  |     |      |          |                  |
| 9.1  | Touch up minor cracking in lath and plaster in lime plaster and restore affected area | 1   | Item | 200.00   | 200.00           |
| 9.2  | Restore area where there has been an issue with damp                                  | 1   | Item | 25.00    | 25.00            |
|  | <u>Door</u>   |     |      |          |                  |

## Repair Cost Estimate

**Project:** Christchurch City Council  
**Building:** 3096A - 325 Montreal Street

**Details:** Scope Of Works

| Ref                          | Description  | Qty | Unit | Rate     | Total              |
|------------------------------|--|-----|------|----------|--------------------|
| <b>9 Space G-3 (Hallway)</b> |  |     |      |          | <i>(Continued)</i> |
| 9.3                          | Replace existing door and frame<br><u>Walls</u>  | 1   | Item | 4,000.00 | 4,000.00           |
| 9.4                          | Patch hole using block and plaster, restore affected area  | 1   | Item | 200.00   | 200.00             |
| 9.5                          | Fill minor holes around door and restore affected area   | 1   | Item | 50.00    | 50.00              |
| 9.6                          | Remove pin board and make good wall disturbed  | 1   | Item | 100.00   | 100.00             |
|                              |  |     |      |          | <b>4,575.00</b>    |
| <b>10 Space G-4</b>          |  |     |      |          |                    |
| 10.1                         | <u>Ceiling</u><br>Remove plywood panel and replace with plasterboard, restore affected area (includes allowance for additional timbers where required) | 16  | m2   | 72.00    | 1,152.00           |
| 10.2                         | <u>Wall</u><br>Touch up minor cracking around door and restore affected area   | 1   | Item | 200.00   | 200.00             |
|                              |  |     |      |          | <b>1,352.00</b>    |
| <b>11 Space G-5</b>          |  |     |      |          |                    |
| 11.1                         | <u>Door</u><br>Carry out repair to cracked panel in door   | 1   | Item | 200.00   | 200.00             |
| 11.2                         | <u>Walls</u><br>Touch up minor cracking and restore affected area  | 1   | Item | 200.00   | 200.00             |
| 11.3                         | Touch up minor cracking in cupboard and restore affected area  | 1   | Item | 100.00   | 100.00             |
|                              |  |     |      |          | <b>500.00</b>      |
| <b>12 Space G-6 (Toilet)</b> |  |     |      |          |                    |
| 12.1                         | <u>Ceiling</u><br>Touch up minor cracking and restore affected area  | 1   | Item | 200.00   | 200.00             |
| 12.2                         | <u>Joinery</u><br>Locally treat area of suspected borer  | 1   | Item | 250.00   | 250.00             |
|                              |  |     |      |          | <b>450.00</b>      |

## Repair Cost Estimate

**Project:** Christchurch City Council  
**Building:** 3096A - 325 Montreal Street

**Details:** Scope Of Works

| Ref   | Description  | Qty | Unit | Rate     | Total           |
|---|--|-----|------|----------|-----------------|
| <b>13 Space G-7 (Bathroom)</b> <span style="float: right;">(Continued)</span> |  |     |      |          |                 |
|   | <u>Door</u>  |     |      |          |                 |
| 13.1  | Strip paint from glazed panels   | 1   | Item | 225.00   | 225.00          |
|   | <u>Flooring</u>  |     |      |          |                 |
| 13.2  | Lift floor covering and make good timber flooring  | 1   | Item | 1,000.00 | 1,000.00        |
|   | <u>Hydraulic services</u>  |     |      |          |                 |
| 13.3  | Allow for isolating, draining down, reinstate and test upon completion - Provisional Sum   | 1   | Item | 1,000.00 | 1,000.00        |
|   | <u>Sanitary ware</u>   |     |      |          |                 |
| 13.4  | Allow for the removal of sanitary fittings   | 1   | Item | 400.00   | 400.00          |
| 13.5  | WC suite, including toilet seat and all associated plumbing pipework and installation (PC Sum of \$350.00 for supply of WC)              | 1   | No   | 800.00   | 800.00          |
| 13.6  | Wash hand basin vanity units including tap ware, pipework and installation (PC Sum of \$250 for supply of WHB and \$100 for taps/ mixer) | 1   | No   | 700.00   | 700.00          |
| 13.7  | Shower, including shower rose, mixer etc... including pipework and installation  | 1   | No   | 800.00   | 800.00          |
| 13.8  | Shower cubicle complete  | 1   | No   | 1,600.00 | 1,600.00        |
| 13.9  | Allow for bathroom hardware, including toilet roll holders, soap dishes and towel rails  | 1   | No   | 500.00   | 500.00          |
|   | <u>Walls</u>   |     |      |          |                 |
| 13.10   | Strip seratone linings from walls and make good wall framing behind  | 1   | Item | 500.00   | 500.00          |
|   | <u>Timber partitions</u>   |     |      |          |                 |
| 13.11   | Supply and install Gib Aqualine® to existing framing   | 6   | m2   | 40.00    | 240.00          |
|   |  |     |      |          | <b>7,765.00</b> |

**14 Space G-8**

|      |  |   |      |        |        |
|------|--|---|------|--------|--------|
|      | <u>Ceiling</u>   |   |      |        |        |
| 14.1 | Touch up minor cracking in lath and plaster in lime plaster and restore affected area          | 1 | Item | 200.00 | 200.00 |
| 14.2 | Strip and replace section of curved ceiling complete with lath due to damp - Approximately 1m2 | 1 | Item | 395.00 | 395.00 |
|      | <u>Joinery</u>   |   |      |        |        |
| 14.3 | Locally treat area of suspected borer  | 1 | Item | 250.00 | 250.00 |



## Repair Cost Estimate

**Project:** Christchurch City Council  
**Building:** 3096A - 325 Montreal Street

**Details:** Scope Of Works

| Ref  | Description   | Qty | Unit | Rate     | Total           |
|--|---|-----|------|----------|-----------------|
| <b>14 Space G-8</b> <span style="float: right;">(Continued)</span> |   |     |      |          |                 |
|  | <u>Walls</u>  |     |      |          |                 |
| 14.4   | Touch up minor cracking around door and restore affected area             | 1   | Item | 200.00   | 200.00          |
| 14.5   | Touch up minor cracking around archway and restore affected area          | 1   | Item | 200.00   | 200.00          |
| 14.6   | Fill minor holes and restore affected area                                | 1   | Item | 50.00    | 50.00           |
|  |   |     |      |          | <b>1,295.00</b> |
| <b>15 Space G-9 (Kitchen)</b>                                      |   |     |      |          |                 |
|  | <u>Note</u>   |     |      |          |                 |
| 15.1   | No works required   |     |      |          | -               |
| <b>16 Space G-10</b>   |   |     |      |          |                 |
|  | <u>Walls</u>  |     |      |          |                 |
| 16.1   | Make good cracking to corner including partitioning                       | 1   | Item | 400.00   | 400.00          |
|  |   |     |      |          | <b>400.00</b>   |
| <b>17 Space G-11 (Entry)</b>                                       |   |     |      |          |                 |
|  | <u>Ceiling</u>  |     |      |          |                 |
| 17.1   | Replace ceiling within cabinet due to rot                                 | 1   | Item | 500.00   | 500.00          |
|  | <u>Walls</u>  |     |      |          |                 |
| 17.2   | Allow to rake out movement cracks to chimney and insert helifix, re-point | 1   | Item | 700.00   | 700.00          |
|  |   |     |      |          | <b>1,200.00</b> |
| <b>18 Space G-12 (Attic)</b>                                       |   |     |      |          |                 |
|  | <u>Note</u>   |     |      |          |                 |
| 18.1   | Unable to gain access - Provisional Sum                                   | 1   | Item | 1,000.00 | 1,000.00        |
| 18.2   | Supply and lay insulation   | 124 | m2   | 18.00    | 2,232.00        |
|  |   |     |      |          | <b>3,232.00</b> |
| <b>19 Preliminary &amp; General</b>                                |   |     |      |          |                 |
| 19.1   | Management and Supervision  | 12  | wk   | 850.00   | 10,200.00       |
| 19.2   | Site Accommodation  | 12  | wk   | 110.00   | 1,320.00        |
| 19.3   | Scaffolding - Provisional Sum   | 1   | Item | 3,000.00 | 3,000.00        |
| 19.4   | Hoardings or Fences   | 1   | Item | 500.00   | 500.00          |

## Repair Cost Estimate

**Project:** Christchurch City Council  
**Building:** 3096A - 325 Montreal Street

**Details:** Scope Of Works

| Ref                                 | Description       | Qty | Unit | Rate     | Total              |
|-------------------------------------|-------------------|-----|------|----------|--------------------|
| <b>19 Preliminary &amp; General</b> |                   |     |      |          | <i>(Continued)</i> |
| 19.5                                | Signage           | 1   | Item | 200.00   | 200.00             |
| 19.6                                | Power             | 1   | Item | 300.00   | 300.00             |
| 19.7                                | Fire Protection   | 12  | wk   | 20.00    | 240.00             |
| 19.8                                | Health and safety | 1   | Item | 2,100.00 | 2,100.00           |
| 19.9                                | Waste removal     | 1   | Item | 1,000.00 | 1,000.00           |
| 19.10                               | Insurance         | 1   | Item | 4,000.00 | 4,000.00           |
|                                     |                   |     |      |          | <b>22,860.00</b>   |
|                                     |                   |     |      |          | <b>126,899.00</b>  |



**DISTRICT PLAN – LISTED HERITAGE PLACE  
HERITAGE ASSESSMENT – STATEMENT OF SIGNIFICANCE  
HERITAGE ITEM NUMBER 390  
*FORMER DWELLING AND SETTING – 32 ARMAGH STREET;  
325 MONTREAL STREET, CHRISTCHURCH***



**PHOTOGRAPH: M.VAIR-PIOVA, 11/12/2014**

### **HISTORICAL AND SOCIAL SIGNIFICANCE**

*Historical and social values that demonstrate or are associated with: a particular person, group, organisation, institution, event, phase or activity; the continuity and/or change of a phase or activity; social, historical, traditional, economic, political or other patterns.*

The former dwelling at 325 Montreal Street has historical and social significance as an early colonial cottage and for its association with noted pianist Ernest Empson and Christchurch Girls' High School. The cottage was constructed in c.1875 for Albert Roberts, a grain and seed merchant. The first occupant was William Townend (1845-1934), a well-known Christchurch chemist and accoucheur (male midwife). Townend arrived in Christchurch in July 1875 and was controversially jailed for manslaughter in 1876 after a baby he delivered died as a result of his treatment. After his release he married Rosa Perkins in February 1877. The Townends purchased 'Fifield' in Opawa in 1890.

In 1908 325 Montreal Street was purchased by Ernest Charles Empson (1880-1970), an Ashburton-born pianist and piano teacher who later gained an international reputation and made a significant contribution to the city's music scene. Empson had been raised by Charles and Sophia Thompson, the parents of the painter Sydney Lough-Thompson, and he married their daughter Florence in 1905. After study and performing in Germany, Empson

and his family returned to Christchurch in 1908 but did not reside in the Montreal Street cottage for long as Florence's declining health dictated a move to the Port Hills.

In 1916 the property was purchased by Canterbury College and became part of Christchurch's Girls' High School. The cottage was used to accommodate the school caretaker until the 1970s. Today the cottage, along with the neighbouring site of Christchurch Girls' High School, is owned by Christ's College.

### **CULTURAL AND SPIRITUAL SIGNIFICANCE**

*Cultural and spiritual values that demonstrate or are associated with the distinctive characteristics of a way of life, philosophy, tradition, religion, or other belief, including: the symbolic or commemorative value of the place; significance to Tangata Whenua; and/or associations with an identifiable group and esteemed by this group for its cultural values.*

The former dwelling is of cultural significance for its demonstration of the way of life of Christchurch residents from c1877. It is also associated with the way of life of private music teachers, offering lessons in their own home, which continues to this day.

### **ARCHITECTURAL AND AESTHETIC SIGNIFICANCE**

*Architectural and aesthetic values that demonstrate or are associated with: a particular style, period or designer, design values, form, scale, colour, texture and material of the place.*

The former dwelling has architectural and aesthetic significance as a vernacular colonial building. Constructed in c.1875 the single-storey cottage has gabled roof forms and sash windows. The central entrance, which abuts the gable facing Montreal Street, has an arched fanlight. The exterior detailing is minimal: moulded brackets beneath the bargeboards on the cross gables are the only decorative detailing. A bullnose veranda originally ran along the front of the cottage to the bay, but this has since been removed. In its place is a ramp for wheelchair access to the building.

The former dwelling features generously proportioned rooms a coved ceiling in the hallway and a fanlight over the entry. The original cottage has been extended with additions to the Gloucester Street elevation, including lean-tos. These were likely added within a few years of the building's construction, as the detailing is consistent with the original building. The front chimneys have been removed. TS Lambert's 1877 map of the inner city records the footprint of the dwelling as closely resembling what it is today.

### **TECHNOLOGICAL AND CRAFTSMANSHIP SIGNIFICANCE**

*Technological and craftsmanship values that demonstrate or are associated with: the nature and use of materials, finishes and/or technological or constructional methods which were innovative, or of notable quality for the period.*

The cottage has technological significance as an example of construction methods and materials dating to c.1875. The earliest part of the building has volcanic stone foundations, the interior walls are lath and plaster and details such as the coved hall ceiling provide evidence of a notable level of craftsmanship in the construction of this building.

### **CONTEXTUAL SIGNIFICANCE**

*Contextual values that demonstrate or are associated with: a relationship to the environment (constructed and natural), a landscape, setting, group, precinct or streetscape; a degree of consistency in terms of type, scale, form, materials, texture, colour, style and/or detail;*

*recognised landmarks and landscape which are recognised and contribute to the unique identity of the environment.*

The cottage has contextual significance due to its location within the inner-city. The cottage sits within the city's traditional cultural precinct with neighbouring listed buildings including the early 1870s dwelling at 40 Cranmer Square and the surviving c.1899 section of the Cranmer Club. The former dwelling makes an interesting comparison with Orari, the 1894 architecturally-designed townhouse built on the southern corner of Montreal and Gloucester Streets. Together the two dwellings help to define the intersection and capture two different stages in the evolution of the city's housing stock.

The setting consists of the listed building on a rectangular corner site. There are a number of mature trees on the property with a front lawn set behind a modern picket fence. The rear of the section is asphalted for carparking. The cottage and setting have landmark significance within the city because of the early colonial character of the building, the fact that it retains a garden setting and its visibility from both Montreal and Gloucester Streets.

### **ARCHAEOLOGICAL AND SCIENTIFIC SIGNIFICANCE**

*Archaeological or scientific values that demonstrate or are associated with: the potential to provide information through physical or scientific evidence an understanding about social historical, cultural, spiritual, technological or other values of past events, activities, structures or people.*

The cottage and setting at 325 Montreal Street are of archaeological significance because they have the potential to provide archaeological evidence relating to past building construction methods and materials, and human activity on the site, including that which occurred prior to 1900.

### **ASSESSMENT STATEMENT**

The former dwelling and its setting have overall significance to the Christchurch District, including Banks Peninsula. The building has historical significance as a c.1875 colonial cottage, the former home of Ernest Empson, and for its association with Christchurch Girl's High School. The former dwelling has architectural significance due to the authenticity of its exterior and retention of some of its original interior detailing. As a small colonial cottage this building has landmark significance within the inner-city's historic western precinct. It has further contextual significance as it stands as a reminder of the style, scale and materials that once dominated the city's colonial built environment. The dwelling and its setting has archaeological significance in view of its 19<sup>th</sup> century construction.

### **REFERENCES:**

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E Bohan 'Ernest Charles Empson, 1800 – 1970' *DNZB* entry – *Te Ara The Encyclopedia of New Zealand*

<http://www.teara.govt.nz/en/biographies/5e7/empson-ernest-charles>

'Cinnamon Cures and Cosmetic Concoctions' *Lost Christchurch – Remembering Our Lost Heritage* <http://lostchristchurch.org.nz/townends-chemist-1897>

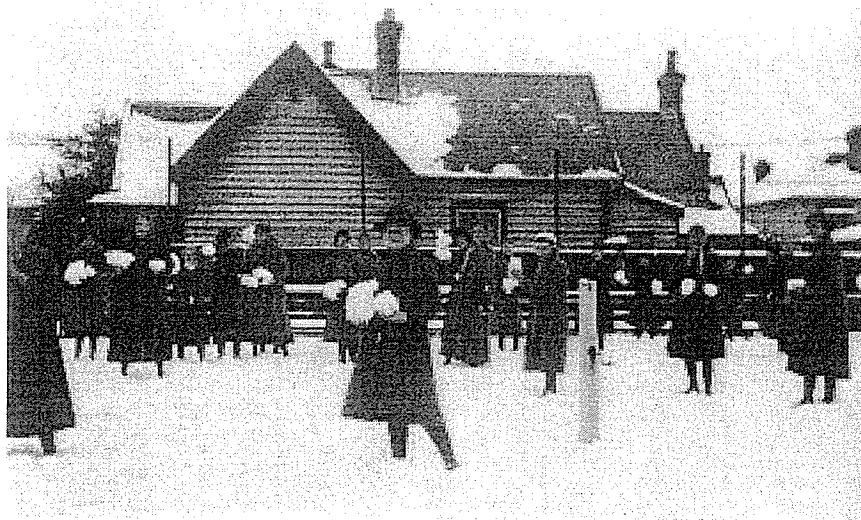
TS Lambert 'Christchurch; Canterbury, 1877' [map]

<http://christchurchcitylibraries.com/Heritage/Maps/ATL-Acc-3158.asp>

**REPORT DATED: 3 FEBRUARY 2015**

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THE  
CARETAKER'S  
COTTAGE  
CRANMER CENTRE  
CHRISTCHURCH

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A CONSERVATION PLAN

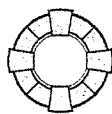


THE CARETAKER'S COTTAGE  
CRANMER CENTRE  
CHRISTCHURCH

A CONSERVATION PLAN

*Prepared for the*  
Arts Centre of Christchurch

*By*  
Dave Pearson Architects Limited



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January 2003

*Cover Photo: Early undated photograph of the cottage.*

## TABLE OF CONTENTS

|  |           |
|--|-----------|
| <b>INFORMATION.....</b>                                      | <b>5</b>  |
| SUBJECT & AUTHORSHIP.....                                    | 5         |
| FORMAT OF PLAN.....  | 5         |
| STATUS OF THE PLACE.....                                     | 5         |
| Address.....   | 5         |
| Zoning.....  | 5         |
| Heritage Designation.....                                    | 5         |
| Ownership.....   | 5         |
| PHOTOGRAPHIC SOURCES.....                                    | 5         |
| <b>PART 1 – ASSESSMENT OF SIGNIFICANCE.....</b>              | <b>6</b>  |
| <b>1 BACKGROUND.....</b>                                     | <b>6</b>  |
| HISTORICAL ACCOUNT.....                                      | 6         |
| TITLES OF OWNERSHIP.....                                     | 6         |
| <b>2 PHYSICAL DESCRIPTION.....</b>                           | <b>7</b>  |
| CONTEXT.....   | 7         |
| DESCRIPTION OF COTTAGE.....                                  | 7         |
| Planning.....  | 7         |
| Architectural Form.....                                      | 8         |
| Construction.....  | 9         |
| CHANGES TO THE COTTAGE.....                                  | 10        |
| <b>3 THE SIGNIFICANCE OF THE COTTAGE.....</b>                | <b>11</b> |
| CRITERIA FOR ASSESSMENT.....                                 | 11        |
| Origin of Elements.....                                      | 11        |
| Assessment Categories.....                                   | 11        |
| Degree of Significance.....                                  | 11        |
| SIGNIFICANCE OF ELEMENTS.....                                | 12        |
| STATEMENT OF SIGNIFICANCE.....                               | 13        |
| Historic.....  | 13        |
| Aesthetic.....   | 13        |
| Social.....  | 14        |
| Scientific.....  | 14        |
| Overall Assessment.....                                      | 14        |
| <b>PART 2 – CONSERVATION POLICIES.....</b>                   | <b>15</b> |
| <b>4 A FRAMEWORK FOR CONSERVATION POLICIES.....</b>          | <b>15</b> |
| CONSTRAINTS ARISING FROM THE STATEMENT OF SIGNIFICANCE.....  | 15        |
| HERITAGE PROTECTION.....                                     | 15        |
| Christchurch City Council.....                               | 15        |
| New Zealand Historic Places Trust.....                       | 15        |
| LEGISLATION.....   | 16        |
| The Resource Management Act.....                             | 16        |
| The Building Act 1991 and the New Zealand Building Code..... | 16        |

|          |  |           |
|----------|--|-----------|
|          | PHYSICAL CONDITION.....                                    | 16        |
| <b>5</b> | <b>CONSERVATION POLICIES.....</b>                          | <b>19</b> |
|          | 1 PROPOSED USES.....                                       | 19        |
|          | 2 RETENTION OF SIGNIFICANCE.....                           | 19        |
|          | 3 RECOVERY OF SIGNIFICANCE.....                            | 20        |
|          | 4 NEW WORK.....  | 21        |
|          | 5 INTERPRETATION.....                                      | 21        |
|          | 6 CONSERVATION STANDARDS.....                              | 21        |
|          | 7 CONSULTATION & REVIEW.....                               | 22        |
| <b>6</b> | <b>IMPLEMENTATION OF CONSERVATION POLICIES.....</b>        | <b>23</b> |
|          | REPAIR & REMEDIAL WORK.....                                | 23        |
|          | RECOVERY OF SIGNIFICANCE.....                              | 23        |
| <b>7</b> | <b>BIBLIOGRAPHY.....</b>                                   | <b>25</b> |
|          | <b>APPENDICES.....</b>                                     | <b>26</b> |
|          | APPENDIX 1   |           |
|          | SCHEDULE OF EXTERNAL ELEVATIONS AND INTERNAL SPACES        |           |
|          | APPENDIX 2   |           |
|          | DRAWINGS PREPARED BY DAVE PEARSON ARCHITECTS LTD           |           |
|          | APPENDIX 3   |           |
|          | ICOMOS NEW ZEALAND CHARTER FOR PLACES OF CULTURAL HERITAGE |           |
|          | VALUE  |           |

## INFORMATION

### SUBJECT AND AUTHORSHIP

This conservation plan concerns the cottage located on the corner of Montreal and Gloucester Streets, Christchurch. The plan firstly assesses the significance of the cottage and secondly, provides a series of conservation policies to guide the future care of the house.

The plan was commissioned by the Arts Centre of Christchurch in conjunction with a conservation plan for the former Christchurch Girls' High School buildings located nearby. The plan was prepared by Dave Pearson, principal of Dave Pearson Architects Limited. The historic research was undertaken by Amanda Ross and the architectural drawings were prepared by Matt Davy.

### FORMAT OF PLAN

The document generally follows the format of a conservation plan as described in the publication *The Conservation Plan; a Guide to the Preparation of Conservation Plans for Places of Cultural Significance* (third edition) prepared by J S Kerr for the National Trust of Australia. Reference was also made to the Department of Conservation's *Standard Conservation Plan Contents Specification* and the *Guidelines for Preparing Conservation Plans*, prepared by the New Zealand Historic Places Trust.

The plan is also consistent with the *ICOMOS New Zealand Charter for the Conservation of Places of Cultural Heritage Value* (1993). The definitions in the conservation plan are as defined in the Charter.

### STATUS OF THE PLACE

#### Address

325 Montreal Street, Christchurch.

#### Zoning

The building is situated in a CU 1 Zone (Central City Heritage Precincts). The Cultural 1 Zone encompasses a number of precincts containing heritage places and settings in and around the City. (City Plan, Vol.3, Part 7, 1.1)

#### Heritage Designation

The Christchurch City Council lists the building in Appendix 1, Part 10, Vol 3 of the City Plan as a Group 4 Heritage item.

#### Ownership

The cottage is currently owned by the Arts Centre Trust of Christchurch.

### PHOTOGRAPHIC SOURCES

The sources of historic photographs are as noted. The contemporary colour photographs were taken by Dave Pearson.

## PART 1 – ASSESSMENT OF SIGNIFICANCE

### 1 BACKGROUND

#### HISTORICAL ACCOUNT

The house at 235 Montreal Street, Christchurch is believed to have been constructed around 1885 and its first owner is recorded as being Albert Roberts, grain and seed merchant. The house was then owned by a series of merchants or their wives until 1907 when it was purchased by Edward Stockwell, land and real estate agent.

The next owner was Ernest Charles Empson, a noted pianist and musician and whose wife was the sister of Sydney Lough Thompson, a well known artist and graduate of the Canterbury College School of Art - now part of the Arts Centre. It was Thompson’s father Charles Abel Thompson who held the mortgage over the property. After studying in Berlin, Empson returned to New Zealand where his reputation grew following a series of recitals. In 1922 he caused a scandal when he left his wife and departed for Australia with one of his students, whom he later married. Empson’s career flourished in Australia where he continued to give recitals. He also became an examiner for music students.

He returned to New Zealand where he became probably the most influential music teacher of his day. At one time almost every young pianist of note studied with him. Empson was, at one time, the president of the Musical Teachers’s Association of New Zealand. He was made an OBE for his services to music in 1959.

In 1916, the cottage was purchased by the Canterbury College and became part of the Christchurch Girls’ High School. It is believed to have been used as accommodation for the school caretaker (sources Mrs Jean Hanlin & Mrs MB Cox – former pupils).

#### TITLES OF OWNERSHIP

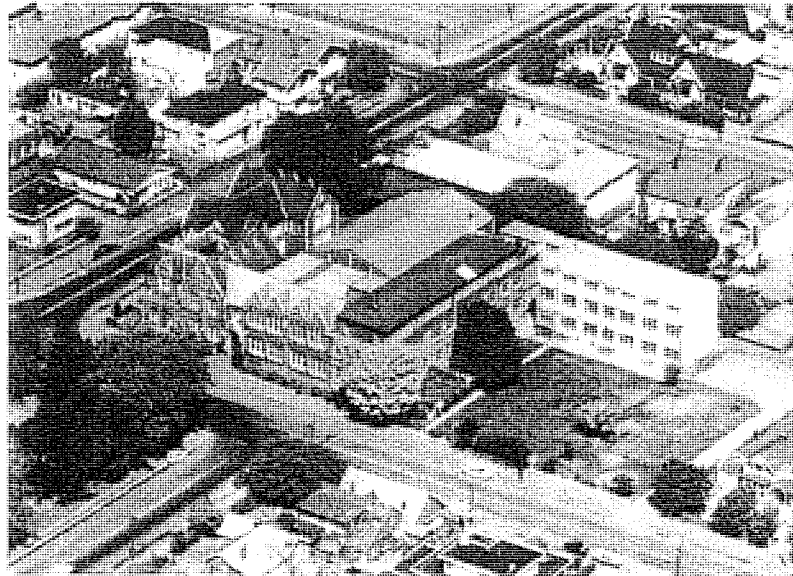
|   |                  |
|---|------------------|
| Albert Roberts (grain and seed merchant)                          | 2 June 1885      |
| Celeste may Laurie (wife of printer merchant)                     | 8 May 1891       |
| Elizabeth Sneedon (wife of mercantile clerk)                      | 25 January 1898  |
| Edward Stockwell (land and real estate agent)                     | 8 October 1907   |
| Ernest Charles Empson (musician)                                  | 18 March 1908    |
| Charles Abel Thompson (mortgagee)                                 | 18 March 1908    |
| Henry Kenneth Lee, James Edmund Lee                               | 19 February 1914 |
| Charles Andrew Lee (next mortgages)                               |                  |
| Ernest Charles Empson (bankrupt)                                  | 29 November 1916 |
| Nellie Collins (wife of draper)                                   | 29 November 1916 |
| The Canterbury College (land to be acquired for secondary school) | 29 November 1916 |

## 2 PHYSICAL DESCRIPTION

### CONTEXT

The cottage is located on its original site on the corner of Montreal and Gloucester Streets in Christchurch. The immediate neighbourhood includes the former Christchurch Girls' High School on the corner of Montreal and Armagh Streets, a number of former residences, some of which have found new uses, and former University of Canterbury, now the Arts Centre of Christchurch. The new Christchurch Art Gallery is under construction on the opposite corner.

A number of mature trees are located on the property. A timber picket fence which appears to be of recent construction has been erected along the Montreal Street frontage.



The cottage in context at top centre of photograph. Cranmer Centre (former Girls' High) in foreground)

### DESCRIPTION OF COTTAGE

#### Planning

The original cottage measured approximately 8.5 x 9.5 metres with a bay that projected another 1.5 metres forward of the front wall. As early addition extended the south wing by another 4 metres. At the rear, various lean-to additions vary between 2.5 and 1.5 metres in depth.

The internal planning is typical of the period and essentially comprises a central hallway with rooms to either side. The front door is located in the corner of the "L" created by the front wall and the projecting bay and would originally have been afforded shelter by the verandah. The front door opens into a relatively generous hallway which runs through to the lean-tos at the rear. A door originally positioned half way down the hallway would have separated the more public spaces from the family living areas at the rear of the cottage. To the left of the front door are two rooms, the front one of which may have been the parlour and the other a bedroom. A smaller room, now occupied by the toilet, is located towards the end of the hall. This is likely to have been the original bathroom. To the right are two further rooms. The front room may have been the main bedroom while the other may have been the original kitchen.

At the end of the hallway where the original cottage ends, a smaller passage runs at right angles and leads to the bathroom on one side and the present dining area on the other. The bathroom may have been an original lean-to or part of an early addition. Doors from the dining area lead to the kitchen and the back porch.

### Architectural Form

The cottage is typical of the early period of colonization. It has a relatively complex roof form comprising a main transverse gable with a secondary gable that projects forward over the front parlour. Within the “L” formed by the main front wall of the house and the projecting gable was originally a verandah with a bull-nosed roof.

On the rear face of the transverse gable are twin gables with a central gutter. At the rear of the cottage are a series of lean-to roof forms over the kitchen, bathroom and entry porch. The windows in the cottage generally comprise double hung sashes. The exceptions are casement or louvre windows to the kitchen and bathroom. The front door was a panel type which has since been overlaid with plywood.

The “cross gable” roof which had gables running at right angles to one another was a device commonly found in British cottages. The form was transplanted to the colonies such as New Zealand where it acquired a verandah to exclude the harsh rays of the Southern hemisphere sun. The resulting bay cottages were the forerunner of that New Zealand icon, the bay villa.



“Cross gable” roof form. Note twin gables at rear.

Although the cottage is by no means a grand house, there is some evidence that its owner was a man of some means. The relatively complex roof form, sheathed with slate, the generous proportions of the rooms and the use of lath and plaster rather than match lining and particularly the coved ceiling in the hallway all suggest an individual who was desirous of being seen to be comfortably off.

Other details convey the same sense of modest wealth. The doors to the front rooms are more elaborate than most, having six panels rather than the usual four and the architraves in these front rooms are also more generous than those found elsewhere in the cottage.

## Construction

The cottage utilizes what would have been typical construction techniques of the period.

- **Roofing and Roof Framing**

The roof framing comprises 100 x 50 rafters joists with sarking that supported the original slate roof. The cottage is presently roofed with corrugated steel. Spoutings are metal quadrant profile and probably replaced earlier “Ogee” profile spoutings.

- **Wall Framing and Sheathing**

Although the wall framing was unable to be viewed, it is likely to comprise 100 x 50 studs at approximately 450 mm centres. The exterior cladding consists of undressed ex 170 (7 inch) x 25 mm plain overlapping weatherboards, a size that was relatively narrow for the time.

- **Exterior Finishing**

Facings to double hung windows and the front door have a moulded profile. The only other ornamentation on the cottage is found in the brackets in the gable ends. All other trim including the fascias, barge boards and the 140 mm wide corner boxes is plain.

It seems likely, however, that the verandah more than compensated for the lack of detail elsewhere. The only early photograph located shows the verandah with a bullnose roof and, although the photograph is indistinct, the verandah may have had double posts and almost certainly elaborate fretwork. It may also have had balustrading, although this area is obscured in the photograph.

- **Joinery**

The early joinery throughout the cottage is probably made from Kauri timber. The windows are generally double hung with two light sashes, although the bathroom and toilet have sash windows and the kitchen, louvres. The front door is a panel type with an arched fanlight above. Internal doors are also paneled with those to the front rooms having six panels and those elsewhere having four.

- **Internal Linings**

The ceilings throughout are generally lath and plaster although a later softboard ceiling has been installed in the present dining area. The walls of the main rooms are also lined with lath and plaster. Within spaces such as the kitchen, bathroom and toilet, the walls are lined with tongue, groove and reeded boarding.

- **Floor Framing and Flooring**

Although not able to be inspected, the floor is likely to be conventionally framed with 100 x 75 bearers and 150 x 50 joists. It is also likely to be resting on its original timber piles. The flooring is tongue and groove.

- **Internal Finishing Work**

Skirtings and architraves in the older section of the house are standard pattern Kauri mouldings. The skirtings in the front rooms are slightly more ornate than those throughout the rest of the house. The trim in areas that have been altered are smaller and



generally plain with a beveled edge. The hallway has a timber cornice at the junction of the coved ceiling and the walls.

- **Chimneys and Fireplaces**

The front two chimneys have both been removed above roof level and the third towards the rear of the cottage has been reconstructed. The early photograph shows all three chimneys originally had elaborate belled-out upper sections. Within the house, the fireplace in what was probably the main bedroom is intact with a timber mantelpiece but has been blocked off. The other two fireplaces have both been altered.

### CHANGES TO THE COTTAGE

Over the years, a number of changes have occurred to the cottage. The first change is likely to have been the additions to the southwest elevation where the south wing was extended and the lean-tos were added. Although the date of these additions is not known, it is likely to have been within a few years of the original construction date as they maintain the detailing and character of the original building.

As noted earlier, other changes to the exterior include the removal of the original bull-nose roofed verandah and the front two chimneys. The original roof slate roof was replaced with corrugated steel. The window joinery to the kitchen bathroom and toilet was also changed.

The current blue colour scheme detracts from the cottage. Victorian colour schemes often used colour to accentuate architectural details. The walls might be painted cream and darker colours might be used for facings, corner boxes and bargeboards. An early photograph of the cottage indicates that the cottage followed this trend.



Undated early photograph of the cottage. Note slate roofs, chimneys and bullnose verandah at left of photograph. Note also evidence of earlier colour scheme.

Within the cottage, changes included modifications to the fireplaces, the installation of bathroom, toilet and kitchen fittings and the lowering of the ceiling in the present dining room. The trim, now painted, appears to have been originally varnished.

### 3 THE SIGNIFICANCE OF THE CARETAKER'S COTTAGE

In this section, an assessment is made of the setting of the cottage and the elements of which it is comprised. This overall significance of the place is summarized as a Statement of Significance. Additional detail regarding the significance of various elements can be found in the schedules at the end of the document.

#### CRITERIA FOR ASSESSMENT

##### Origin of Elements

In the assessment an indication is given of the assumed period from which each originates.

*Historic fabric (HF)*                      *The cottage was originally constructed in 1885 and appears to have had an early addition. Heritage fabric is defined as being generally from these two periods.*

*Later fabric (LF)*                        *This is fabric that has been added relatively recently. It generally has little or no heritage value.*

##### Assessment Categories

Fabric or elements may have significance for a variety of reasons. The categories listed below are used to assess significance. These categories are based on those used by the New Zealand Historic Places Trust.

*Historic (H)*                              *Elements having historic significance have the ability to demonstrate an association with individuals, ideas or events.*

*Aesthetic (A)*                            *Elements having aesthetic significance can be said to make a contribution to the architectural or aesthetic qualities of the place or its setting.*

*Social (S)*                                *Elements having social significance are able to demonstrate cultural, spiritual, traditional or any other behavioural patterns.*

*Scientific (Sc)*                          *Elements having scientific significance may be able to demonstrate a particular technology or construction technique of the period. They may also provide information regarding how the place may have been used.*

##### Degree of Significance

The degree of significance of each element is assessed in accordance with the following scale:

*Considerable*                            *An element having considerable significance is considered to make an important contribution to the overall significance of the building.*

*Some*                                        *An element having some significance makes a comparatively minor contribution to overall significance.*

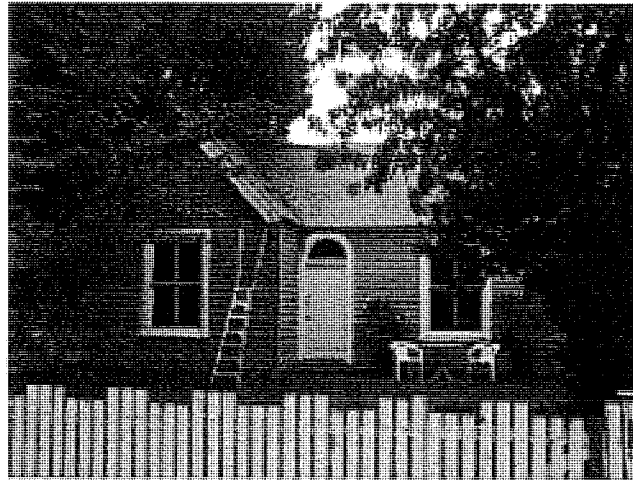
*Not Relevant*                              *Elements in this category may not have any particular significance, however, they allow the building to function.*

**Intrusive**

Elements described as being intrusive are accretions that detract from overall significance or obscure fabric of greater value.

**SIGNIFICANCE OF ELEMENTS**

|   |                      |   |           |
|---|----------------------|---|-----------|
| <b>Setting</b><br>The cottage remains on its original site and this contributes to its significance. Changes have occurred with newer buildings continuing to be erected. The mature trees surrounding the cottage contribute to a sense of history and permanence. It has considerable significance. |                      |   |           |
| <i>Contributing Fabric</i><br>Mature trees.   | HF                   | Considerable  | H,A,S, Sc |
| <i>Other fabric</i><br>Picket fences.<br>Corrugated steel fences.<br>Asphalt paving.<br>Concrete terrace.   | LF<br>LF<br>LF<br>LF | Not relevant<br>Not relevant<br>Not relevant<br>Intrusive |           |



The cottage in its setting. Note mature trees and later picket fence.

|  |                      |  |                                      |
|--|----------------------|--|--------------------------------------|
| <b>Roof</b><br>The roof retains its original form but the original slates have been replaced with corrugated steel. It has some significance.          |                      |  |                                      |
| <i>Contributing Fabric</i><br>Gable & lean-to forms  | HF                   | Considerable   | H,A,Sc                               |
| <i>Other Fabric</i><br>Corrugated steel roofing<br>Quadrant spouting & downpipes   | LF<br>LF             | Not relevant<br>Not relevant                                 |                                      |
| <b>External Walls</b><br>The external walls are timber framed and sheathed with weatherboards. The walls have considerable significance.               |                      |  |                                      |
| <i>Contributing Fabric</i><br>Stone foundation walls.<br>Original timber weatherboards.<br>Fascias and soffits.<br>Window and door trim, corner boxes. | HF<br>HF<br>HF<br>HF | Considerable<br>Considerable<br>Considerable<br>Considerable | H,A,Sc<br>H,A,Sc<br>H,A,Sc<br>H,A,Sc |
| <i>Other Fabric</i><br>Replacement weatherboards and other timber.   | LF                   | Not relevant   |                                      |

|  |     |              |        |
|--|-----|--------------|--------|
| <b>Joinery</b>   |     |              |        |
| The exterior joinery is generally original, although some windows are later. Overall, the joinery has considerable significance.                               |     |              |        |
| <i>Contributing Fabric</i>   |     |              |        |
| Original double hung sashes  | HF  | Considerable | H,A,Sc |
| Front entry door   | HF  | Some         | H,Sc   |
| Rear entry door  | LF  | Some         | H,Sc   |
| Casement sashes  | LF  | Some         | H,Sc   |
| <i>Other Fabric</i>  |     |              |        |
| Louvre windows   | LF  | Intrusive    |        |
| <b>Internal Fabric</b>   |     |              |        |
| The interior generally retains its original layout. Other than the sanitary fixtures and changes to the fireplaces, the internal fabric is generally original. |     |              |        |
| <i>Contributing Fabric</i>   |     |              |        |
| Panelled doors.  | HF  | Considerable | H,A,Sc |
| Original/early skirtings & architraves.  | HF  | Considerable | H,A,Sc |
| Cover ceiling in hallway.  | HF  | Considerable | H,A,Sc |
| Original mantelpiece.  | HF  | Considerable | H,A,Sc |
| Match lining in attic with early newspapers.   | HF  | Considerable | H,Sc   |
| Lath & plaster ceilings, wall linings.   | HF  | Some         | H,Sc   |
| Tongue & groove wall lining in kitchen, bathroom.  | HF  | Some         | H,Sc   |
| Tongue and groove floors.  | HF  | Some         | H,Sc   |
| Modified fireplaces.   | LF  | Some         | H,Sc   |
| Cupboards  | HF? | Some         | H,Sc   |
| <i>Other Fabric</i>  |     |              |        |
| Kitchen fittings, cupboards.   | LF  | Not relevant |        |
| Bathroom, toilet fixtures.   | LF  | Not relevant |        |
| Floor coverings.   | LF  | Not relevant |        |
| Hardboard ceiling to porch.  | LF  | Intrusive    |        |

## STATEMENT OF SIGNIFICANCE

### Historic

- **Associations**  
The cottage is associated with Ernest Empson and other owners. It was later used as accommodation for the school caretaker.
- **Events**  
The cottage is able to demonstrate events in the life of an early Christchurch merchant.

### Aesthetic

- **Contextual**  
The cottage and its surrounds are a well known landmark on the corner of two busy city streets and contribute to the aesthetic value of the area.
- **Architectural**  
The architectural vocabulary of the cottage makes it readily identifiable as a dwelling from the early settlement period of Christchurch.

### Social

- **Cultural**  
The cottage provides considerable understanding of the behavioural patterns and social conduct of a early New Zealand family. The rooms near the front of the house were the more public spaces and better finished, while the rooms towards the rear, being more modest, were the family’s living spaces.

**Scientific**

- **Technological**

The house with its timber framing, timber joinery, moulded trim and lath and plaster linings utilises typical construction techniques of the period. It, therefore, provides valuable information regarding earlier building practices.

- **Functional**

The layout and planning of the house, as well as other features such as the fireplaces contributes to a clear understanding as to the way the house was used.

**Overall Assessment**

The cottage is considered to have **considerable** significance under historic, aesthetic, social and scientific criteria.

## **PART 2 CONSERVATION POLICIES**

### **4 A FRAMEWORK FOR CONSERVATION POLICIES**

#### **CONSTRAINTS ARISING FROM THE STATEMENT OF SIGNIFICANCE**

From the Statement of Significance, a number of constraints arise that will have an influence on the conservation policies.

- No work should be carried out that removes or conceals evidence of the way the cottage may have been formerly used or removes evidence of past events that may have occurred.
- No work should be undertaken that reduces the cottage's architectural value or aesthetic integrity.
- No work should be carried out that further removes evidence of the earlier form or plan layout of the cottage.
- No work should be carried out that conceals or reduces technological evidence such as original construction techniques.
- No work should be carried out that removes or changes significant fabric other than where deterioration has occurred to such an extent that it is affecting other fabric.

#### **HERITAGE PROTECTION**

##### **Christchurch City Council**

Under the Resource Management Act 1991, territorial authorities are required to recognise and protect the heritage value of sites, buildings, places or areas. The Christchurch City Council therefore maintains a schedule of Protected buildings, places and objects which are included as part of the District Plan. These items are scheduled under Groups 1 – 4.

The cottage at 325 Montreal Street is scheduled by the Christchurch City Council in Appendix I, Part 10, Vol 3 of the City Plan) as a Group 4 Heritage Item. Items in this group include buildings, places and objects of metropolitan significance and/or involve a contribution to the heritage of the city, the protection of which is seen as desirable by the Council.

Under the City Plan, any demolition or removal of a Group 4 building shall be a discretionary activity. Any alteration or additional buildings on a site containing a Group 4 building shall be a controlled activity.

##### **New Zealand Historic Places Trust**

The cottage is not currently registered as an historic place by the New Zealand Historic Places Trust.

The place is, however, protected as an archaeological site under the Historic Places Act 1993, being a site connected with human activity prior to 1900. Under the Act, an archaeological site may not be modified, damaged or destroyed without an Authority from the New Zealand Historic

Places Trust. On this basis, any proposal for work involving the site should be submitted to the Trust for a ruling as to whether or not an Authority will need to be sought. It is also suggested that details of any work proposed to the building be submitted to the Trust for their comment and input.

## LEGISLATION

### The Resource Management Act

The purpose of the Resource Management Act is "*to promote the sustainable management of natural and physical resources*". As the cottage is listed by the Christchurch City Council, a Resource Consent will be required for any significant work.

The Council will consider as a controlled activity any application to restore or make alterations or additions to all or any part of a Group 4 scheduled item. The removal of a Group 4 protected building, place or object will be considered as a discretionary activity. Conditions can be imposed by the Council in granting a Resource Consent.

### The Building Act 1991 and the New Zealand Building Code

The purpose of the Building Act is primarily to ensure that buildings are "safe and sanitary" for users. With respect to existing buildings, the Act requires that the building be upgraded to a standard comparable, as far as possible, with a new building **if major alterations are proposed or if its use changes, requiring alterations**. This includes means of escape from fire and facilities for people with disabilities.

A Building Consent will be required for any alterations to the cottage. If significant work is proposed, upgrading may be required in the following areas in order that a Building Consent may be granted. The Act also expects local authorities to have due regard to a place's cultural and heritage value

- **Fire Safety and Egress**

Where an existing building is undergoing alterations, the Act requires that provision be made for means of escape in the event of fire. The territorial authority has to be satisfied that the building complies with the provision of the Building Code with respect to the protection of other property and the fire rating of various elements.

It is suggested that consideration be given to providing a sprinkler system for the cottage, both to protect any occupants and to protect the building, given its age and significance. The Act also requires that existing buildings be regularly checked for compliance with the current code. If a sprinkler system were to be installed a Compliance Schedule would be required. Compliance will also be required relating to means of escape from fire and hand-held hose reels.

- **Disabled Access & Facilities**

Within the Building Code is a requirement that buildings used by the public comply with the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975. This

includes a need to provide adequate sanitary facilities for people who may be expected to visit or work in that building.

With respect to access requirements, the Act allows for waivers or modifications with respect to the alteration of an existing building. The Building Industry Authority (BIA) is empowered to grant a waiver or modification if the authority determines that it is reasonable to grant such a waiver.

The proximity of the cottage to the ground means that extensive ramping would not be required. The ability of the doorways to accommodate a wheelchair would need to be investigated. With respect to the provision of an accessible toilet, the existing toilet area could possibly be reconfigured to accommodate such a facility.

### PHYSICAL CONDITION

- **Roof**

The roof is long-run corrugated steel and appears to have been replaced relatively recently. It is in good condition.

- **Exterior Sheathing & Trim**

The cottage is in reasonable condition, although some defects were noted. The stone foundation wall is eroding along the northeast elevation. There is considerable evidence of borer in weatherboards and other timberwork. Decay is evident in some places and paintwork is generally flaking.

- **Joinery**

Defects to joinery include broken sash cords and missing putty. Decay is present in the front door. Inappropriate repairs have been carried out in the past. Sills have cracked and paintwork is also flaking.

- **Chimney**

The chimney at the rear of the house is in reasonable condition. The top section has been rebuilt and other repointing has been carried out.

- **Subfloor**

Access could not be gained to the subfloor area. Its condition is not known, however, no particular unevenness was noted in the floor.

- **Internal Fabric**

Other than flaking paintwork and broken sash cords to joinery, no particular defects were noted to the internal fabric.



- **Services**

Although electrical and sanitary services were not inspected, no particular defects were observed. The services should be checked, particularly if the use of the building changes.

## 5 CONSERVATION POLICIES

Following on from the assessment and Statement of Significance and taking into account statutory requirements and the aims and aspirations of the Auckland Regional Council as owner of the park, a series of conservation policies can be formulated to ensure that the significance of the homestead is retained and enhanced.

### 1 PROPOSED USES

**Policy 1.1** The cottage should have a viable use as a means of aiding its survival. That use should be an appropriate use so as not to detract from significance.

The ICOMOS Charter states that *"the conservation of a place is usually facilitated by it serving a socially, culturally or economically viable purpose"*.

A heritage building should wherever possible, continue to be used for the purpose for which it was built as a way of maintaining its significance. Throughout its life, the cottage has been used for residential purposes, however, if that use is no longer appropriate, a new use needs to be found for it. A preferred new use will be one that:

- *Requires a minimum of further modification to the building.*
- *Respects and does not require the removal of significant fabric.*
- *Does not further compromise the building's architectural integrity or character.*

### 2 RETENTION OF SIGNIFICANCE

**Policy 2.1** Significant fabric should be retained as a means of preserving overall significance. Any intervention should be undertaken with regard to the significance of the individual elements.

Fabric that is assessed as being significant contributes to the overall significance of the building and should be retained wherever possible. The cottage's significance is likely to be diminished if elements are subjected to inappropriate activities.

- *Considerable Significance.* These elements should be retained unless extraordinary circumstances require their removal. Any intervention should be limited to processes of maintenance, repair or restoration
- *Some Significance.* These elements should generally be retained in their present form except where they are considered to detract from overall significance of the place. A greater degree of intervention may also be permitted.
- *Not Relevant.* These elements have little significance and generally allow the buildings to function. They may be retained, providing fabric of greater significance is not obscured.

**Policy 2.2** The contribution to significance that fabric from different periods makes should be considered.

The ICOMOS Charter states "*the evidence of time and the contributions of all periods should be respected*".

The original cottage appears to have essentially comprised four rooms with a central hallway and possibly a lean-to at the rear. The present kitchen, dining area and porch appear to have been added relatively early in the life of the building. These additions were constructed as a result of a particular need and can be considered to be part of the fabric of the place. It therefore should be retained as it contributes to an understanding of the place.

Other changes which have taken place over the years, such as the modifications to the fireplaces, the louvres in the kitchen and the lowered ceiling in the present dining area, detract from the significance of the cottage. As circumstances allow, these areas should be returned to an earlier form (see also Recovery of Significance).

**Policy 2.3 Remedial and repair work should be carried out as required. The work should be consistent with historic fabric and construction techniques.**

Repair and remedial work to the cottage should aim to preserve as much original fabric as possible. Material should only be replaced where it has ceased to function satisfactorily or where it is placing other fabric at risk. Material that has weathered but which is still in sound condition should be respected as evidence of the building's history.

Remedial and repair work should match original work on the building. Historic construction techniques should be replicated when undertaking repair work and timber sizes and finish should match the original.

**Policy 2.4 A regular maintenance regime should be implemented as a means of preserving fabric.**

A planned regime of regular repair and maintenance will slow down the processes of decay and is an important weapon in any effort to preserve fabric in an historic building. It is recommended that a maintenance plan be prepared and implemented for the cottage.

### 3 RECOVERY OF SIGNIFICANCE

**Policy 3.1 Where appropriate, consideration should be given to returning the cottage to a known earlier form.**

#### Commentary

Some changes, such as the removal of the verandah have reduced the significance of the cottage. Returning it to an earlier form would recover that significance. The work should be based on physical evidence as well as documentary evidence such as historic photographs. It may involve the following processes:

- *Reconstruction.* This involves the use of new material to rebuild an element in its original form.
- *Removal of Accretions.* Accretions are defined as additions to an original building. Accretions listed as being intrusive in the assessment of significance should be removed.

#### 4 NEW WORK

**Policy 4.1 Work to permit a new use should respect the original building and should be discernible as such. The work should also be reversible.**

If the cottage is to have a new use, it is accepted that new work may be required to enable it to function. The work should respect and be sympathetic to cottage's original character, but still able to be discerned as not being part of the original structure. New work should, where possible, be confined to areas having lesser significance. An example of such work might be the provision of new toilet or kitchen facilities.

Where possible, areas subject to intervention should be able to be returned to their present or an earlier form at a future date. Significant material that needs to be removed should be stored for possible future reinstatement.

#### 5 INTERPRETATION

**Policy 5-1 Appropriate interpretative material should be provided.**

It is suggested that appropriate interpretive material be placed in the cottage describing its early history and its previous owners, particularly Ernest Empson. Any changes that have taken place could also be described.

#### 6 CONSERVATION STANDARDS

**Policy 6.1 Appropriate standards should be maintained whenever work is carried out.**

In order to maintain the integrity of the place all work should conform to principles set out in the ICOMOS New Zealand Charter for the Conservation of Places of Cultural Heritage Value and in accordance with international standards for the conservation of places having cultural significance.

**Policy 6.2 Conservation processes and other activities involving intervention should be recorded.**

A record should be made by photographic or other means of the activities to which the cottage is subjected and placed in an appropriate archive. This will ensure that a comprehensive account of the place is maintained for future reference. Recording is particularly important in areas where changes are occurring or where fabric is being removed or modified.

**7 CONSULTATION AND REVIEW**

**Policy 7.1 Proposals for work on the cottage should be reviewed by relevant authorities.**

**Commentary**

Any proposals for work on the cottage should be discussed at an early stage with organisations such as the New Zealand Historic Places Trust to ensure that the work is generally in accordance with the principles as set down in the conservation plan and the requirements of ICOMOS.

**Policy 7.2 This conservation plan should be reviewed from time to time and amended as necessary.**

**Commentary**

No conservation plan should ever be considered to ever be a final or completed document. Rather the plan should be viewed as a “working document”. It should be reviewed from time to time, say every five years, and amended as required to incorporate new information.

## 6 IMPLEMENTATION OF CONSERVATION POLICIES

### REPAIR AND REMEDIAL WORK

- **Exterior Sheathing**

While the cottage is in reasonable condition, some remedial work is required. The stone foundation wall is eroding and stones should be replaced as required. There is considerable evidence of borer in weatherboards and other timberwork. Decay is evident in some places. Repairs should be carried out as required with the finish of replacement timber matching that of the original. The cottage should also be treated for borer.

- **Joinery**

Defects to joinery include broken sash cords and missing putty. Decay is present in the front door and inappropriate repairs have been carried out in the past. Remedial work should include replacement of sash cords, reputting of glazing and remedial work to the front door.

- **Subfloor**

At present, the condition of the subfloor is not known. Although the floor appears to be level with no particular defects being apparent, the situation should be monitored.

- **Interior Fabric**

Interior fabric is generally sound. Paintwork was observed to be flaking, particularly to windows.

### RECOVERY OF SIGNIFICANCE

- **Cottage Environs**

The immediate surrounds of the house include a number of mature trees, paths, and a picket fence along the front boundary and extending partway along the southeast boundary. Additional research should be undertaken with a view to determining the form of any earlier fences and plantings as a way of providing a more accurate historical setting for the house.

- **Cottage Exterior**

The cottage has undergone a number of changes throughout its life. Some, such as the early additions can now be considered to be part of the cottage and to make a contribution to its significance. Other changes, such as the removal of the verandah and chimneys and the replacement of the original slate roof with corrugated steel have detracted from the cottage's significance.

It is accepted that cost constraints dictate that the missing chimneys are unlikely to be reconstructed. Similarly the cottage is unlikely to be reroofed with slate. The restoration of these details could, however, remain a possible long-term goal for the cottage.

The reconstruction of the verandah is one way in which a recovery of significance could be achieved relatively easily. It is, therefore, recommended that consideration be given to reconstructing the verandah using the evidence of the early photograph. It is also recommended that paint scrapings be undertaken to determine the original colour scheme of the cottage. If appropriate, the original colour scheme should be restored.

Less obvious changes such as later windows could generally remain in their present form, although it may be desirable to change the present louvres in the kitchen.

- **Cottage Interior**

The interior of the cottage has undergone a number of changes, typical of a house that has been lived in over a long period of time. These generally compromise the original character of the cottage and should be reversed as opportunities arise.

Some of the most obvious changes have occurred to the fireplaces. Consideration should be given to restoring these to their original form. The lowered ceiling in the present dining room detracts from this space and consideration should be given to its removal. Evidence should also be sought as to the original décor, particularly of the more significant spaces with a view to redecorating them in their original style. The timber trim, for example, appears to originally have been varnished and consideration should be given to stripping the paint and applying new varnish.

Changes have also occurred to areas of the cottage having less significance. These could either be retained or reversed according to the use to which the cottage might be put. These spaces include the kitchen, the bathroom and the toilet. The fittings and fixtures in these areas have little significance and may be retained, updated or removed. The hardboard in the kitchen may conceal evidence of the way the cottage was used. An investigation could be carried out in this area to determine whether or not fabric of greater value survives behind the hardboard.

## 7 BIBLIOGRAPHY

### Published Works

Kerr J S                    *The Conservation Plan: A Guide to the Preparation of Conservation Plans for Places of European Cultural Significance* (3<sup>rd</sup> edition). National Trust of NSW Australia.

Salmond J                *Old New Zealand Houses 1800-1940*. Reed Methuen, 1986.

### Other References

The ICOMOS New Zealand Charter for Places of Cultural Heritage Value.

### On Line

Dictionary of New Zealand Biography



**APPENDICES**

**APPENDIX 1**

**SCHEDULE OF EXTERNAL ELEVATIONS AND INTERNAL SPACES**

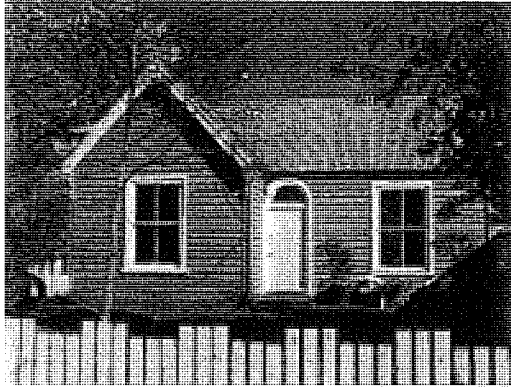
**APPENDIX 2**

**DRAWINGS PREPARED BY DAVE PEARSON ARCHITECTS LIMITED**

**APPENDIX 3**

**ICOMOS NEW ZEALAND CHARTER FOR PLACES OF CULTURAL HERITAGE  
VALUE**

## ELEVATION –NORTHEAST



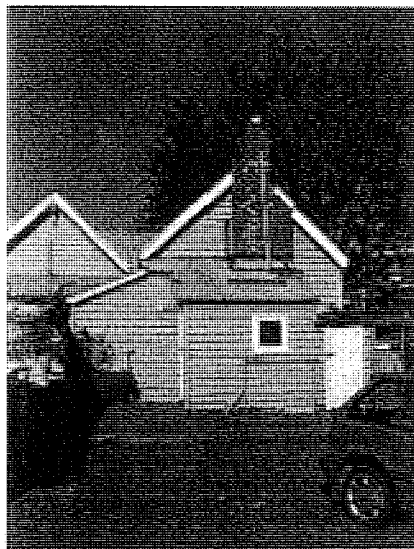
|  |  |
|--|--|
| <b>Description</b>   |  |
| Foundation:  | Volcanic stone.  |
| Walls:   | Weatherboards.   |
| Joinery  | Double hung windows, paneled door overlaid.  |
| Trim:  | Moulded facings to windows, door.<br>Timber fascias, bargeboards, soffit.                      |
| <b>Modifications</b>   |  |
| Elevation is generally in its original form although the removal of the verandah detracts from its significance.   |  |
| Verandah removed and concrete terrace constructed.<br>Front door overlaid.<br>Corner box at north corner replaced.   |  |
| <b>Significance</b>  |  |
| Present overall rating – considerable<br>Potential rating – considerable   |  |
| Considerable   | Stone foundation, weatherboards, original trim, double-hung windows, gable brackets.           |
| Some   | Front door.  |
| Not relevant   | Recent trim.   |
| Intrusive  | Overlay to front door, concrete terrace.   |
| <b>Condition</b>   |  |
| Foundation   | Stone deteriorating.   |
| Weatherboards  | Some borer, paint flaking.   |
| Trim:  | Decay at bottom of corner box, north side of barge board to gable.                             |
| Joinery:   | Window to room 2. Paint flaking and putty missing. Sill cracked. Paint flaking from door sill. |
| <b>Recommendations</b>   |  |
| Consider reconstruction of verandah.<br>Replace deteriorated foundation stones.<br>Replace weatherboards as required.<br>Repair joinery and reputty glass.<br>Remove overlay to door and repair as required.<br>Provide new corner boxes to correct profile.<br>Sand and repaint timberwork in heritage colours. |  |

## ELEVATION –NORTHWEST



|   |  |
|---|--|
| <b>Description</b>  |  |
| Foundation:   | Volcanic stone.  |
| Walls:  | Weatherboards.   |
| Joinery   | Double hung windows. Casement & louvre windows to additions.                   |
| Trim:   | Moulded facings to windows.<br>Timber fascias, bargeboards, soffit.            |
| <b>Modifications</b>  |  |
| The additions at the rear have arisen out of a particular need and can be considered to be part of the fabric of the house. |  |
| Kitchen and bathroom additions to rear.   |  |
| <b>Significance</b>   |  |
| Present overall rating – some   |  |
| Potential rating – some   |  |
| Considerable  | Stone base, weatherboards, original trim, double-hung windows, gable brackets. |
| Some  | Later additions, casement windows, trim.                                       |
| Intrusive   | Louvre windows to kitchen.   |
| <b>Condition</b>  |  |
| Foundation  | Stone deteriorating.   |
| Weatherboards   | Paint flaking.   |
| Trim:   | Paint flaking, possible decay in corner box.                                   |
| Joinery:  | Paint flaking and putty deteriorating.   |
| <b>Recommendations</b>  |  |
| Generally retain additions, but consider replacement of kitchen window.   |  |
| Replace deteriorated foundation stones.   |  |
| Repair joinery and reputty glass.   |  |
| Sand and repaint timberwork in heritage colours.  |  |

## ELEVATION – SOUTHWEST



|   |   |
|---|---|
| <b>Description</b>  |   |
| Foundation:   | Concrete.   |
| Walls:  | Weatherboards.  |
| Joinery   | Casement sash, t&g door with glazed panel.                        |
| Trim:   | Plain facings to joinery.<br>Timber fascias, bargeboards, soffit. |
| <b>Modifications</b>  |   |
| The additions to this elevation add to the vernacular character of the cottage. |   |
| Early addition to south wing. Chimney constructed.                              |   |
| Kitchen and bathroom additions.   |   |
| Services added.   |   |
| <b>Significance</b>   |   |
| Present overall rating – some   |   |
| Potential rating – some   |   |
| Considerable  | Brick chimney, gable brackets.                                    |
| Some  | Weatherboards, trim, joinery.                                     |
| Intrusive   | Later services.   |
| <b>Condition</b>  |   |
| Chimney   | Top section rebuilt, other areas repointed.                       |
| Weatherboards   | Paint flaking.  |
| Trim:   | Paint flaking from barge boards, trim.                            |
| <b>Recommendations</b>  |   |
| Generally retain additions.   |   |
| Tidy up previous repairs to chimney.  |   |
| Remove intrusive services.  |   |
| Sand and repaint timberwork in heritage colours.                                |   |

## ELEVATION – SOUTHWEST



|  |   |
|--|---|
| <b>Description</b>   |   |
| Foundation:  | Volcanic stone.   |
| Walls:   | Weatherboards.  |
| Joinery  | Double hung windows.  |
| Trim:  | Moulded facings to windows.<br>Timber fascias, bargeboards, soffit. |
| <b>Modifications</b>   |   |
| Elevation has early and later additions. The additions are in character and do not detract from the house. |   |
| Various additions constructed.<br>Window to toilet not original.<br>Service pipe added.                    |   |
| <b>Significance</b>  |   |
| Present overall rating – considerable<br>Potential rating – considerable                                   |   |
| Considerable   | Weatherboards, original trim, double-hung windows, gable brackets.  |
| Some   | Various additions, casement window.                                 |
| Intrusive  | Later services.   |
| <b>Condition</b>   |   |
| Weatherboards  | Some decay in replacement boards, extensive borer.                  |
| Joinery:   | Paint flaking.  |
| <b>Recommendations</b>   |   |
| Generally retain additions.<br>Remove later services.<br>Sand and repaint timberwork in heritage colours.  |   |

## SPACE G-1

|   |   |
|---|---|
| <b>Description</b>                                      |   |
| Ceiling, walls:   | Lath & plaster.   |
| Floor   | Tongue & groove boarding.   |
| Trim:   | Moulded skirting, architraves.  |
| Joinery:  | Double hung windows. Paneled timber door.                             |
| Elements:   | Fireplace with timber mantelpiece, cupboards in corner.               |
| <b>Modifications</b>                                    |   |
| Fireplace blocked off.                                  |   |
| Cupboards at side of fireplace probably added.          |   |
| Trim, joinery originally varnished, now painted.        |   |
| <b>Significance</b>                                     |   |
| Present overall rating – Some                           |   |
| Potential rating – Considerable                         |   |
| Considerable  | Skirting, architraves, door & window joinery, fireplace, mantelpiece. |
| Some  | Lath & plaster ceiling, wall linings, floorboards, cupboards.         |
| Not relevant  | Later floor coverings, wallpaper.                                     |
| <b>Condition</b>  |   |
| Ceiling, walls, trim:                                   | Reasonable condition.   |
| Joinery:  | Sash cords broken, paint flaking.                                     |
| <b>Recommendations</b>                                  |   |
| Repair sash cords to window.                            |   |
| Consider restoring varnish finish to timberwork.        |   |
| Consider reopening fireplace.                           |   |
| Redecorate and provide new floor coverings as required. |   |

**SPACE G-2**

|   |   |
|---|---|
| <b>Description</b>                                      |   |
| Ceiling, walls:   | Lath & plaster.                                   |
| Floor   | Tongue & groove boarding.                         |
| Trim:   | Moulded skirting, architraves.                    |
| Joinery:  | Double hung windows. Paneled timber door.         |
| Elements:   | Brick fireplace.                                  |
| <b>Modifications</b>                                    |   |
| Fireplace altered with brick facing.                    |   |
| Trim, joinery originally varnished, now painted.        |   |
| <b>Significance</b>                                     |   |
| Present overall rating – Some                           |   |
| Potential rating – Considerable                         |   |
| Considerable  | Skirting, architraves, door & window joinery.     |
| Some  | Lath & plaster ceiling, wall lining, floorboards. |
| Not relevant  | Later floor coverings, wallpaper.                 |
| Intrusive   | Later brickwork to fireplace.                     |
| <b>Condition</b>  |   |
| Ceiling, walls, trim:                                   | Reasonable condition.                             |
| Joinery:  | Sash cord broken.                                 |
| <b>Recommendations</b>                                  |   |
| Consider reconstructing fireplace to original style.    |   |
| Repair sash cords to window.                            |   |
| Consider restoring varnish finish to timberwork.        |   |
| Redecorate and provide new floor coverings as required. |   |

**SPACE G-3 (HALLWAY)**

|   |   |
|---|---|
| <b>Description</b>  |   |
| Ceiling:  | Coved lath & plaster.                                 |
| Walls:  | Lath & plaster  |
| Floor   | Tongue & groove boarding.                             |
| Trim:   | Moulded skirting, architraves.                        |
| Joinery:  | Paneled timber front door.                            |
| <b>Modifications</b>  |   |
| Trim, joinery originally varnished, now painted.                  |   |
| Door missing down hall.   |   |
| Panel to front door changed.                                      |   |
| <b>Significance</b>   |   |
| Present overall rating – Considerable (notable for coved ceiling) |   |
| Potential rating – Considerable                                   |   |
| Considerable  | Coved ceiling, timber cornice, skirting, architraves. |
| Some  | Front door, plaster wall lining, floorboards.         |
| Not relevant  | Later floor coverings, wallpaper.                     |
| <b>Condition</b>  |   |
| Ceiling, walls, trim:   | Reasonable condition.                                 |
| Joinery:  | Decay in bottom of door.                              |
| <b>Recommendations</b>  |   |
| Repair front door.  |   |
| Consider restoring varnish finish to timberwork.                  |   |
| Provide door down hall if required.                               |   |
| Redecorate and provide new floor coverings as required.           |   |



## SPACE G-4

|   |   |
|---|---|
| <b>Description</b>                                      |   |
| Ceiling, walls:   | Lath & plaster.                                   |
| Floor   | Tongue & groove boarding.                         |
| Trim:   | Moulded skirting, architraves.                    |
| Joinery:  | Double hung windows. Paneled timber door.         |
| <b>Modifications</b>                                    |   |
| Trim, joinery originally varnished, now painted.        |   |
| <b>Significance</b>                                     |   |
| Present overall rating – Some                           |   |
| Potential rating – Some                                 |   |
| Considerable  | Skirting, architraves, door & window joinery.     |
| Some  | Lath & plaster ceiling, wall lining, floorboards. |
| Not relevant  | Later floor coverings, wallpaper.                 |
| <b>Condition</b>  |   |
| Ceiling, walls, trim:                                   | Reasonable condition.                             |
| Joinery:  | Sash cords, bead broken, paint flaking.           |
| <b>Recommendations</b>                                  |   |
| Repair sash cords, bead to window.                      |   |
| Consider restoring varnish finish to timberwork.        |   |
| Redecorate and provide new floor coverings as required. |   |

## SPACE G-5

|   |  |
|---|--|
| <b>Description</b>                                      |  |
| Ceiling, walls:   | Lath & plaster.  |
| Floor   | Tongue & groove boarding.                                |
| Trim:   | Moulded skirting, architraves.                           |
| Joinery:  | Double hung windows. Paneled timber door.                |
| Elements  | Fireplace.   |
| <b>Modifications</b>                                    |  |
| Trim, joinery originally varnished, now painted.        |  |
| Fireplace blocked off.                                  |  |
| Cupboard probably not original.                         |  |
| Lower sash to window changed.                           |  |
| <b>Significance</b>                                     |  |
| Present overall rating – Some                           |  |
| Potential rating – Some                                 |  |
| Considerable  | Skirting, architraves, door & window joinery, fireplace. |
| Some  | Lath & plaster ceiling, wall lining, floorboards.        |
| Not relevant  | Later floor coverings, wallpaper.                        |
| <b>Condition</b>  |  |
| Ceiling, walls, trim:                                   | Reasonable condition.                                    |
| Joinery:  | Reasonable condition.                                    |
| <b>Recommendations</b>                                  |  |
| Repair sash cords, bead to window.                      |  |
| Consider restoring varnish finish to timberwork.        |  |
| Consider reopening fireplace.                           |  |
| Redecorate and provide new floor coverings as required. |  |

**SPACE G-6 (TOILET)**

|   |   |
|---|---|
| <b>Description</b>  |   |
| Ceiling:  | Lath & plaster.                                       |
| Walls:  | Tongue, groove & reeded boarding.                     |
| Floor   | Tongue & groove boarding.                             |
| Trim:   | Plain skirting, plain architraves with beveled edges. |
| Joinery:  | Casement window. Paneled timber door.                 |
| Elements  | Sanitary fixtures.                                    |
| <b>Modifications</b>  |   |
| Toilet added.   |   |
| Window, architraves & skirting not original.                                      |   |
| <b>Significance</b>   |   |
| Present overall rating – Some   |   |
| Potential rating – Some   |   |
| Considerable  | Door  |
| Some  | Window joinery, trim, t&g wall lining, floorboards.   |
| Not relevant  | Later floor coverings.                                |
| <b>Condition</b>  |   |
| Ceiling, walls,<br>trim:  | Reasonable condition.                                 |
| Joinery:  | Reasonable condition.                                 |
| <b>Recommendations</b>  |   |
| Space could be retained in its present form or modified to accommodate a new use. |   |
| Redecorate and provide new floor coverings as required.                           |   |

**SPACE G-7 (BATHROOM)**

|   |   |
|---|---|
| <b>Description</b>  |   |
| Ceiling, walls:   | Tongue, groove & reeded boarding.                   |
| Floor   | Tongue & groove boarding.                           |
| Trim:   | Plain style trim                                    |
| Joinery:  | Casement window. Paneled timber door.               |
| Elements  | Bath, sanitary fixtures.                            |
| <b>Modifications</b>  |   |
| Space may have been part of original or early lean-to.                            |   |
| Sanitary fixtures added.  |   |
| Window, trim not original.  |   |
| Vinyl flooring added.   |   |
| <b>Significance</b>   |   |
| Present overall rating – Some   |   |
| Potential rating – Some   |   |
| Considerable  | Door  |
| Some  | Window joinery, trim, t&g wall lining, floorboards. |
| Not relevant  | Later floor coverings.                              |
| <b>Condition</b>  |   |
| Ceiling, walls,<br>trim:  | Reasonable condition.                               |
| Joinery:  | Reasonable condition.                               |
| <b>Recommendations</b>  |   |
| Space could be retained in its present form or modified to accommodate a new use. |   |
| Redecorate and provide new floor coverings as required.                           |   |

**SPACE G-8**

|   |                                       |
|---|---------------------------------------|
| <b>Description</b>                                      |                                       |
| Ceiling:  | Plaster.                              |
| Walls:  | Tongue, groove & reeded boarding.     |
| Floor   | Tongue & groove boarding.             |
| Trim:   | Plain architraves with beveled edges. |
| <b>Modifications</b>                                    |                                       |
| Space may have been part of original or early lean-to.  |                                       |
| Trim not original.                                      |                                       |
| <b>Significance</b>                                     |                                       |
| Present overall rating – Some                           |                                       |
| Potential rating – Some                                 |                                       |
| Some  | Trim, t&g wall lining, floorboards.   |
| Not relevant  | Later floor coverings.                |
| <b>Condition</b>  |                                       |
| Ceiling, walls,<br>trim:                                | Reasonable condition.                 |
| Joinery:  | Reasonable condition.                 |
| <b>Recommendations</b>                                  |                                       |
| Space should be retained in its present form.           |                                       |
| Redecorate and provide new floor coverings as required. |                                       |

## SPACE G-9 (KITCHEN)

|  |  |
|--|--|
| <b>Description</b>   |  |
| Ceiling:   | Plaster.   |
| Walls:   | Hardboard.   |
| Floor  | Tongue & groove boarding.                                      |
| Trim:  | Moulded architraves to doorway.                                |
| Joinery  | Glass louveres in timber frame.                                |
| <b>Modifications</b>   |  |
| Space appears to have been relatively early addition.  |  |
| Window and architraves not original.   |  |
| Walls overlaid with hardboard (original lining may survive).                                   |  |
| Kitchen fittings added.  |  |
| Door missing.  |  |
| <b>Significance</b>  |  |
| Present overall rating – Some  |  |
| Potential rating – Some  |  |
| Some   | Plaster ceiling lining, moulded door architraves, floorboards. |
| Not relevant   | Kitchen fittings, later floor coverings.                       |
| <b>Condition</b>   |  |
| Ceiling, walls, trim:  | Reasonable condition.  |
| Joinery:   | Reasonable condition.  |
| <b>Recommendations</b>   |  |
| Space should retain its present use. Modifications may be carried out to suit a new occupancy. |  |
| Remove hardboard linings and investigate whether original linings in place.                    |  |
| Provide new window joinery.  |  |
| Redecorate and provide new floor coverings as required.  |  |

## SPACE G-10

|   |   |
|---|---|
| <b>Description</b>                                      |   |
| Ceiling   | Softboard below original plaster.                               |
| Walls:  | Lath & plaster.   |
| Floor   | Tongue and groove boarding.                                     |
| Trim:   | Plain style skirting, architraves.                              |
| Joinery:  | Double hung window. Paneled timber door.                        |
| Elements  | Fireplace, shelves.   |
| <b>Modifications</b>                                    |   |
| Ceiling lowered.  |   |
| Shelves added beside fireplace.                         |   |
| Trim not original.                                      |   |
| Fireplace, hearth altered.                              |   |
| <b>Significance</b>                                     |   |
| Present overall rating – Some                           |   |
| Potential rating – Considerable.                        |   |
| Considerable  | Door & window joinery.  |
| Some  | Lath & plaster walls, ceiling above later ceiling, floorboards. |
| Not relevant  | Later floor coverings, wallpaper.                               |
| Intrusive   | Softboard ceiling.  |
| <b>Condition</b>  |   |
| Ceiling, walls, trim:                                   | Reasonable condition.   |
| Joinery:  | Paint flaking.  |
| <b>Recommendations</b>                                  |   |
| Consider returning space to an earlier form.            |   |
| Remove later ceiling and repair original.               |   |
| Return fireplace, hearth to original form.              |   |
| Provide trim to original pattern.                       |   |
| Consider restoring varnish finish to timberwork.        |   |
| Redecorate and provide new floor coverings as required. |   |

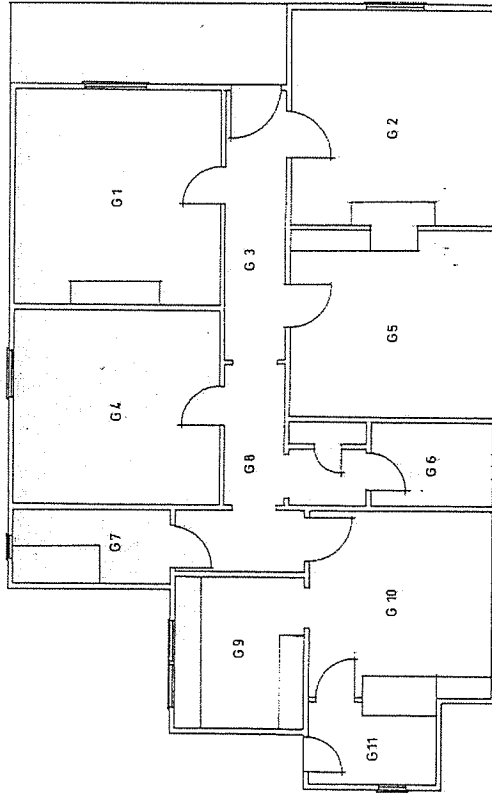
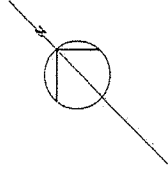
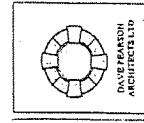
## SPACE G-11 (ENTRY)

|  |  |
|--|--|
| <b>Description</b>   |  |
| Ceiling:   | Hardboard..  |
| Walls:   | Tongue, groove & reeded boarding.                                |
| Floor  | Tongue & groove boarding.  |
| Joinery  | Timber door, window.   |
| Elements   | Brick chimney  |
| <b>Modifications</b>   |  |
| Space appears to have been relatively early addition.                      |  |
| Hardboard ceiling added.   |  |
| Window and door not original.  |  |
| <b>Significance</b>  |  |
| Present overall rating – Some  |  |
| Potential rating – Some  |  |
| Some   | Tongue, groove & reeded boarding, brick chimney, floor, joinery. |
| Not relevant   | Hardboard ceiling.   |
| <b>Condition</b>   |  |
| Ceiling, walls, trim:  | Reasonable condition.  |
| Joinery:   | Reasonable condition.  |
| <b>Recommendations</b>   |  |
| Remove hardboard linings and investigate if any original linings in place. |  |
| Redecorate as required.  |  |



## SPACE G-12 (ATTIC)

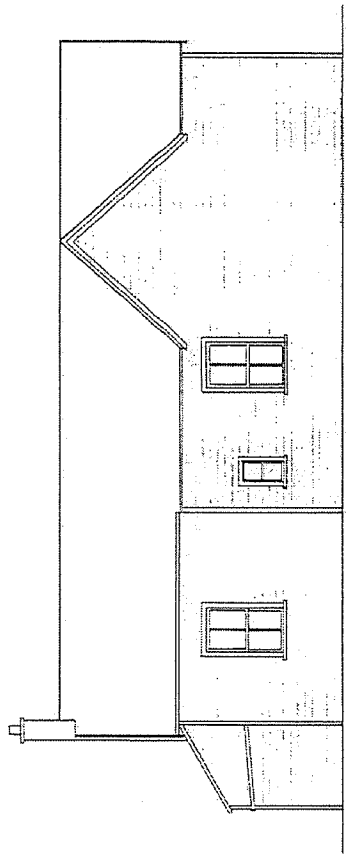
|  |   |
|--|---|
| <b>Description</b>   |   |
| Ceiling, walls:  | Match lining.                                     |
| Floor  | Tongue & groove boarding.                         |
| <b>Modifications</b>   |   |
| Space is essentially as built.   |   |
| <b>Significance</b>  |   |
| Present overall rating – Considerable  |   |
| Potential rating – Considerable  |   |
| Considerable   | Match lining, fragments of 1885, 1888 newspapers. |
| Some   | Flooring.   |
| <b>Condition</b>   |   |
| Ceiling, walls:  | Reasonable condition.                             |
| <b>Recommendations</b>   |   |
| Space is a rare example of its type and should be left in its present form. The newspaper fragments should be preserved. |   |



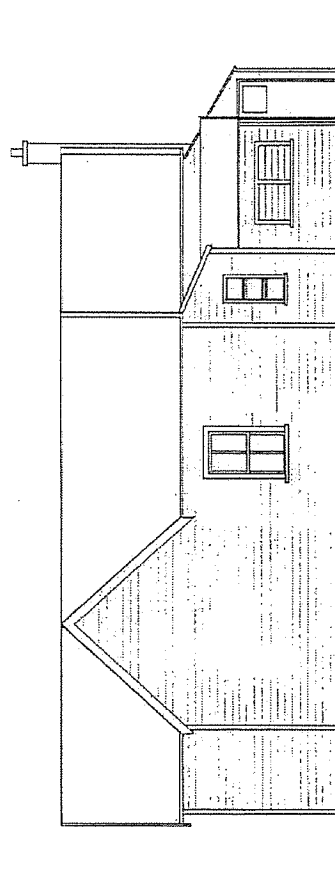
FLOOR PLAN 1:50 (A1 A2)

COTTAGE

THE CRANMER CENTRE  
CHRISTCHURCH



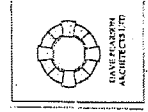
SOUTH EAST

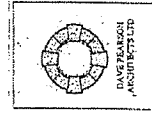


NORTH WEST

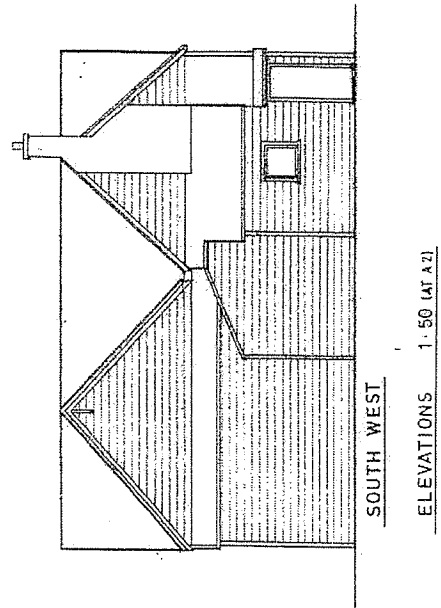
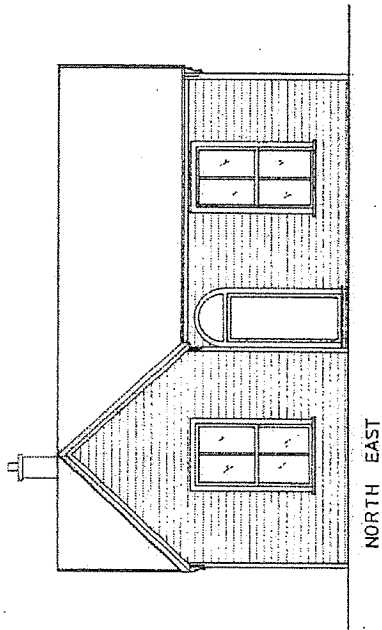
ELEVATIONS 1:50 (AT A2)

THE COTTAGE  
CRANMER CENTRE  
CHRISTCHURCH





THE COTTAGE  
CRANMER CENTRE  
CHRISTCHURCH



Case: 3212  
 Site: The Caretakers Cottage, Cramner Centre, Christchurch  
 Location: 325 Montreal Street

| Elevation/Room        | Repair  | Required due to   |             |
|-----------------------|---|---|-------------|
| External - General    | Decoration                                    | Full decoration of all external joinery   | Maintenance |
|                       |   | Full restoration of roof including complete clean out of all gutters and hoppers etc. Allow for replacement of 25% valley gutter in new galvanised to match existing.   | Heritage    |
|                       |   | Full decoration of galvanised rainwater goods including replacement of all downpipes in new 80mm galvanised pipe.   | Heritage    |
|                       | External works                                | Remove tree to north east corner  | Maintenance |
|                       | Foundation                                    | Allow to remove loose materials from basalt foundation and check by stonemason as to structural integrity. Allow for the provisional replacement of 10m. Additional allowance for the installation of a flashing to cover top chamfer | Heritage    |
| Joinery               | Allowance for general bora treatment          | Maintenance   |             |
|                       | Allowance of 25% replacement of weatherboard  | Maintenance   |             |
| Elevation - Northeast | Window  | Remove aluminium cover cill and replace with new timber cill - assumed rotten   | Heritage    |
|                       | Joinery                                       | Remove plant on timber to corner post and allow for repair  | Heritage    |
|                       | Ramp  | Allow for the removal of the existing ramp, replace with timber step and restore area disturbed   | Heritage    |
|                       | Veranda                                       | Missing veranda not required to be reinstated   | Heritage    |
| Elevation - Northwest | Joinery                                       | Remove and carry out new timber splice repair to wall post  | Maintenance |
|                       |   | Replace element of framing assumed to be rotten   | Maintenance |
|                       | Window  | Carry out repairs to rotten section   | Maintenance |
| Elevation - Southwest | Chimney                                       | Missing chimney not to be reinstated, make good wall and roof to match existing   | Earthquake  |
|                       | Pipework                                      | Allow for the removal of exposed service pipework and make good penetrations  | Heritage    |
| Elevation - Southeast | External Works                                | Remove spoil and vegetation to expose foundation stone  | Maintenance |
|                       | Joinery                                       | Remove and carry out new timber splice repair to wall post  | Maintenance |
| Internal - General    | Doors   | Ease and adjust all doors   | Earthquake  |
|                       | Windows                                       | Ease and adjust all windows   | Earthquake  |
| Space G-1             | Walls   | Touch up minor cracking in lath and plaster in lime plaster and restore affected area   | Earthquake  |
|                       | Windows                                       | Replace damaged sash cord   | Maintenance |
|                       |   | Retain damaged glass with minor damage  | Earthquake  |
| Space G-2             | Door  | Carry out repairs to door   | Maintenance |
|                       | Walls   | Fill crack in lath and plaster in lime plaster, relime and restore affected area  | Earthquake  |
|                       |   | Replace damaged glass   | Heritage    |
| Space G-3 (Hallway)   | Ceiling                                       | Touch up minor cracking in lath and plaster in lime plaster and restore affected area   | Earthquake  |
|                       |   | Restore area where there has been an issue with damp  | Maintenance |
|                       | Door  | Replace existing door and frame   | Maintenance |
|                       | Walls   | Patch hole using block and plaster, restore affected area   | Maintenance |
|                       |   | Fill minor holes around door and restore affected area  | Maintenance |
|                       | Remove pin board and make good wall disturbed | Heritage  |             |
| Space G-4             | Ceiling                                       | Remove plywood panel and replace with plasterboard, restore affected area   | Maintenance |
|                       | Wall  | Touch up minor cracking around door in lath and plaster in lime plaster and restore affected area   | Earthquake  |
| Space G-5             | Door  | Carry out repair to cracked panel in door   | Maintenance |
|                       | Walls   | Touch up minor cracking in lath and plaster in lime plaster and restore affected area   | Earthquake  |
|                       |   | Touch up minor cracking in cupboard and restore affected area   | Earthquake  |
| Space G-6 (Toilet)    | Ceiling                                       | Touch up minor cracking and restore affected area   | Earthquake  |
|                       | Joinery                                       | Locally treat area of suspected bora  | Maintenance |
| Space G-7 (Bathroom)  | Door  | Strip paint from glazed panels  | Heritage    |
|                       | Flooring                                      | Lift floor covering and make good timber flooring   | Heritage    |
|                       | Fixtures and fitting                          | Allow for the removal of sanitary fittings  | Heritage    |
|                       | Walls   | Strip seratone linings from walls and make good wall framing behind   | Heritage    |

|                     |   |  |             |
|---------------------|---|--|-------------|
| Space G-8           | Ceiling                                     | Touch up minor cracking in lath and plaster in lime plaster<br>and restore affected area               | Earthquake  |
|                     |   | Strip and replace section of curved ceiling complete with<br>lath due to damp - Approximately 1m2      | Maintenance |
|                     | Joinery                                     | Locally treat area of suspected bora   | Maintenance |
|                     | Walls                                       | Touch up minor cracking around door and restore affected<br>area                                       | Earthquake  |
|                     |   | Touch up minor cracking around archway and restore<br>affected area                                    | Earthquake  |
|                     | Fill minor holes and restore affected area  | Maintenance  |             |
| Space G-9 (Kitchen) |   |  |             |
| Space G-10          | Walls, Ceiling,<br>Floor, Chimney<br>Breast | Make good cracking to corner including partitioning  | Earthquake  |
| Space G-11 (Entry)  | Ceiling                                     | Replace ceiling within cabinet due to rot  | Maintenance |
|                     | Walls                                       | Allow to rake out movement cracks to chimney and insert<br>hellifix, repoint and restore area affected | Earthquake  |
| Space G-12 (Attic)  | Note  | Unable to gain access  |             |

Note references taken from Conservation Plan issued by Davis Pearson Architects Limited dated January 2003

**APPENDIX B: 3380/002 R2 – REPAIR QUOTATION REVIEW – HIN 185 –  
DARESBURY LANE, 67 FENDALTON – 02 AUGUST 2023**

(overleaf)

2 August 2023

Te Hononga Civic Offices  
53 Hereford Street  
CHRISTCHURCH 8013

Attn: Amanda Ohs (e: Amanda.ohs@ccc.govt.nz)

Dear Amanda

**3380/002 R2 – REPAIR QUOTATION REVIEW – HIN 185 – 9 DARESBURY LANE, 67 FENDALTON**

Please find enclosed our revised repair quotation review for Daresbury and Setting at 9 Daresbury Lane, 67 and 67B Fendalton Road.

Should you have any queries, please do not hesitate to contact the writer

Yours faithfully



Gavin Stanley BSc QS NZIQS (Affil)  
Project Cost Consultant  
**Rhodes + Associates Limited**



# RA

**Rhodes  
+Associates**

Quantity Surveyors  
Cost Consultants

3380/002 R2 - HIN 185 - 9 DARESBURY LANE

Repair Quotation Review

02 August 2023

Christchurch City Council

## QUALITY ASSURANCE INFORMATION

**Report:** REPAIR QUOTATION REVIEW  
**Document:** HIN 185 - 9 DARES BURY LANE  
**Ref:** 3380/002 R2  
**Date:** 02 August 2023  
**Client:** CHRISTCHURCH CITY COUNCIL  
**Lead QS:** GAVIN STANLEY

---

| <b>Ver:</b> | <b>Date:</b> | <b>Prepared By:</b> | <b>Reviewed By:</b> |
|-------------|--------------|---------------------|---------------------|
|             | 17/07/2023   | Gavin Stanley       | Phil Griffiths      |
| R1          | 25/07/2023   | Gavin Stanley       | Phil Griffiths      |
| R2          | 02/08/2023   | Gavin Stanley       | Phil Griffiths      |

## **EXECUTIVE SUMMARY**

Rhodes + Associates Limited have been appointed by Christchurch City Council to provide a review of Milne Constructions Quotation dated 03 July 2019 for the repair of Daresbury and Setting at 9 Daresbury Lane, 67 and 67B Fendalton Road.

This report has been prepared specifically for Christchurch City Council. Rhodes + Associates Limited accepts no liability in the event this report is used for any other purpose or by any other party.

## CLARIFICATIONS AND EXCLUSIONS

Rhodes + Associates Limited have not been requested to produce an estimate for the repair of Daresbury and Setting at 9 Daresbury Lane, 67 and 67B Fendalton Road and as such we have been requested to carry out a high-level review of the documentation from Milne Construction provided by Christchurch City Council. Allowances have been made for escalation given the submission date of Milne Constructions quotation.

### Building Description

The building was constructed between 1897 and 1901 and has a GFA of approximately 1,643 m<sup>2</sup> (measured in accordance with NZIQS guidelines from DPA Architects drawings, see Appendix A) and is constructed on three levels. The structure consists of a mixture of brick and stucco walls with clay roof tiles.

### Procurement

- It has been assumed the market is competitive with no adjustment included for inflationary factors associated with a major event
- The works are to be negotiated with a fixed lump sum contract

### Review

This review has been carried out by Gavin Stanley, Senior Quantity Surveyor with Rhodes + Associates Limited who has a BSc in Quantity Surveying, 30+ years' experience and is an Affiliate Member of the NZIQS.

The review has been based upon Milne Construction's quotation dated 03 July 2019 (Appendix F) which covers repair works in accordance with Quoin Structural Consultants Structural Assessment Report dated 17 May 2019.

Rhodes + Associates have made no allowances for any further works to cover any additional deterioration to the building beyond the date of the quotation.

### Methodology

For simplicity we have carried out our calculations for construction escalation costs based on the 'New Zealand standard conditions of contract for building and civil engineering construction NZS 3910:2013', in particular 'Appendix A – Cost fluctuation adjustment by indexation' of that contract (see Appendix B for copy).

Indices are required for the calculations which are updated on a quarterly basis and are published by Statistics New Zealand. The indices are available on their website <http://archive.stats.govt.nz/infoshare/>

*L and L<sup>1</sup> – 'Labour Cost Index; Private Sector: Industry Group – Construction: All Salary and Wages Rates' (see Appendix D for relevant indices)*

*M and M<sup>1</sup> – 'Producers Price Index; Inputs: Industry Group - Construction' (see Appendix D for relevant indices)*

This report is required to calculate escalation to July 2023. Unfortunately, indices by Statistics New Zealand have only been produced up to the quarter ending March 2023, we have allowed for additional estimated escalation up to the third quarter of 2023 (See Appendix D for Indices).

### **Milne Construction Daresbury House – Reduced Repair Option 3 July 2019**

Please note we have carried out escalation calculations on Milne Construction's quotation which includes an element of external works, as below and shown in Appendix C - Option 1.

Milne Construction – 2019 (including escalation) \$6,488,129 excluding GST

We have carried out limited checks on certain elements of the escalated estimate and did observe the following:

- The hourly rate applied is fair and reasonable
- In general, the rates for standard works we have reviewed (i.e., foundations, framing, GIB works, decoration) appear to be slightly higher than expected but would not have a major impact on the overall estimate
- There are many rates that we have not been able to adequately analyse due to the lack of detail within the description.
- Where bespoke elements have been included (e.g., deconstruction of chimneys, general salvage works, re-construction/re-fitting of heritage items) the value of these works are higher than anticipated, this may be as a result of the number of hours allowed by Milne Construction which may contain additional risk, although making additional allowances for risk or including additional works not clearly defined within their descriptions. Examples as follows:
  - Remove, dispose all chimney stacks inside structure. Labour allowed 810 hrs which equates to 18 weeks of labour (based on a 45 hr week). This does on the face of it seem to be excessive, although we are unable to confirm exactly what is included within this work without consulting Milne Construction.
- There are also elements contained within the estimate which we would not have included within a repair estimate i.e., replacement of curtains
- This estimate has not been carried out on a like for like basis, it allows to keep the same look externally but does allow for altered interior layout including finishes.
- We also suspect that there is an amount of betterment allowed for in the quote.

We would also note that the method of calculating Margins, Contingencies, Professional Fees, Project Management and P&G by Milne Construction differs from the method we would have used as. Difference in calculations are shown in Appendix E – Option 1 and Option 2.

When escalating Appendix C - Option 2 there would be an overall increase from \$6,488,129 to \$6,657,818 or an additional \$169,689 over Milne Construction's quote.

#### Percentages applied

We would make comment on percentages applied as follows:

##### *Margins 7.5%*

We would expect margins around 8% and in this case 7.5% would appear to be reasonable

##### *Contingencies 10%*

Generally, a 10% Contingency would be fair and reasonable, although in this case we would assume that a good element of risk has been included within the rates and as such the contingency could be reduced

##### *Professional Fees 5%*

5% for Professional fees appears to be too low for this type of project and we would expect fees to be between 10% to 15% for this project

##### *Project Management 2.15%*

This should be included within P&G (see below)

## P&G 5%

Generally, we would expect around 12% for P&G, there are several P&G items which have been included elsewhere within the quote which would have been included within our 12%.

- For comparison we have applied these adjustments as shown in Appendix E - Option 3 and escalation calculation Appendix C - Option 3, which have the effect of increasing the overall escalated rebuild budget from \$6,488,129 to \$6,875,781 excluding GST an overall increase of \$387,652 over Milne Constructions quote.

## Betterment

Within Milne Constructions quotation we are aware of certain items which may be classed as betterment, i.e., works over and above that which was originally in place prior to the earthquakes (excluding necessary structural works to meet the requirements of the NBS targeted).

Milne Construction stated within their Quotation 'Allowances have been made to return all aspects of the exterior to visually appear similar to pre-earthquake with the interior having an altered layout including finishes', it would be fair to assume that the interior would be subject to a certain amount of betterment.

For the purposes of this review the quotation provided would need to reflect the works required to bring the structure up to the required NBS level using current building techniques and based on a standard of finish no greater or lesser than that prior to the earthquakes. Ideally to do this we would need to omit any item which would be deemed as betterment and substitute those items with elements matching those pre-earthquakes. To carry out this we would need further detail to establish what elements are classed as betterment.

We would suspect given the photographs we have received from Christchurch City Council that the following items may be classed either wholly or in part as betterment:

HVAC – Supply and install ducted central heating \$42,355 (escalated \$50,710)

Fire system – supply and install \$65,000 (escalated \$77,823)

Curtains – Supply and install \$72,913 (escalated \$87,297)

*Note all figures above exclude Margins, Contingencies, Professional Fees and P&G and some allowances should still be made for reinstatement of the existing elements*

## **Replacement cost**

The following assessments allow for demolition of the existing structure and exclude external works such as landscaping, paving and the like. It has been assumed that the building will sit on a reinforced concrete raft foundation.

*Replacement replica (reconstruction using alternative materials and construction methods to achieve the overall look of the original)*

Given the type of building and standard of finishes included we would allow a guide replica replacement cost of around \$8,000/m<sup>2</sup> (subject to further detail) which based on an approximate GFA of 1,643 m<sup>2</sup> equates to an estimated replacement cost of around \$13,144,000 excluding GST

*Replacement modern high end multi level house*

A replacement with a modern structure with a high standard of finish (which would bear no resemblance to the existing) from our recent experience, depending upon construction would range from between \$7,000/m<sup>2</sup> to \$10,000/m<sup>2</sup> at current market rates. GFA is approximately 1,643 m<sup>2</sup>, this would result in replacement estimates between \$11,501,000 and \$16,430,000.

## **DOCUMENTATION**

- Quoin Structural Consultants
  - Structural Assessment Report – 17 May 2019
- Milne Construction
  - Repair Estimate – 3 July 2019
- DPA Architects
  - Drawing Set – June 2019



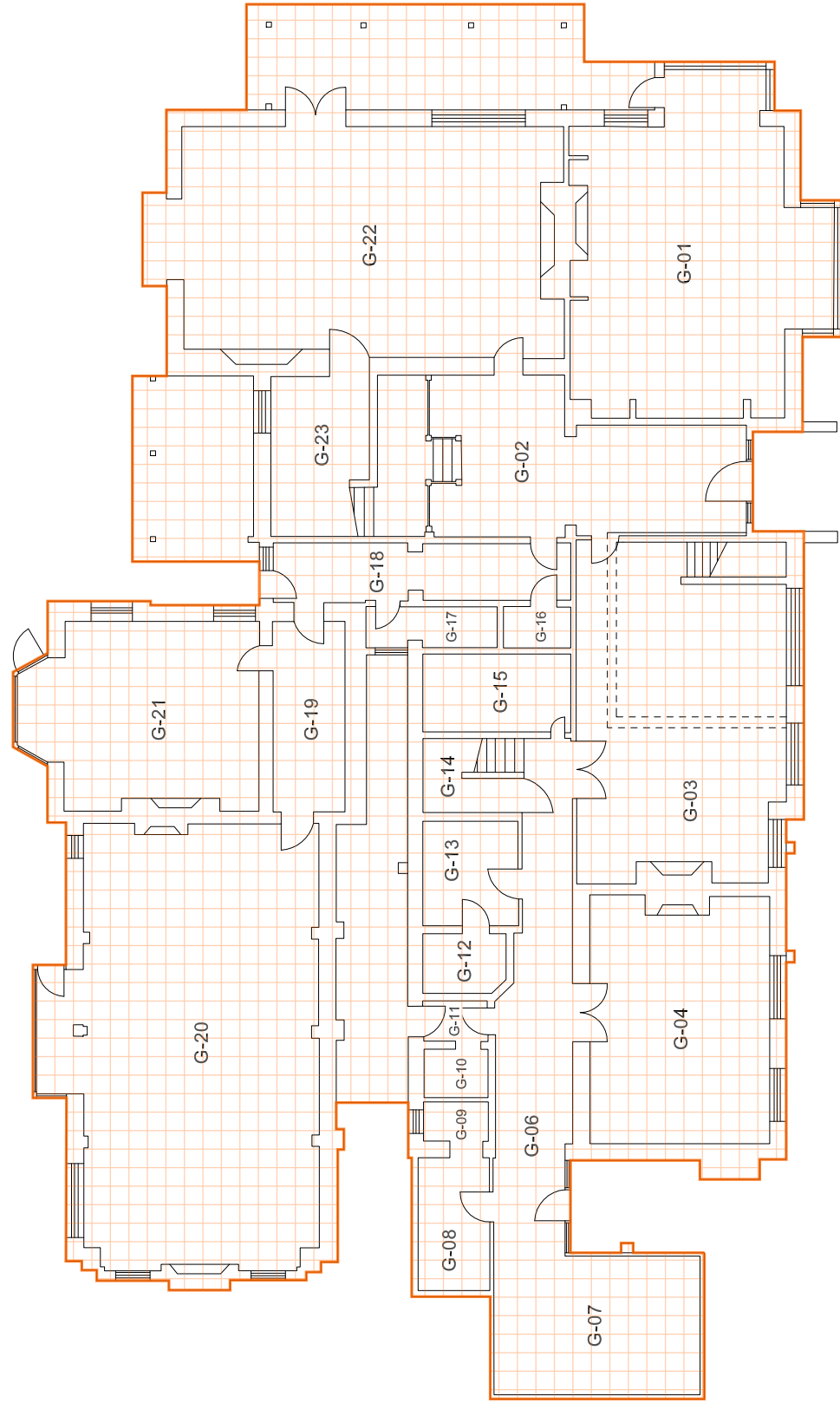


# CostX Drawing


Project: Christchurch City Council  
 Building: 3380/002 - Daresbury House

Drawing: DPA Architects\A102 - Ground Floor Existing  
 Filename: R:\CostX Drawings\3CH\3CH 33\3380 Heritage Plan Change\3380\_002 3 Daresbury Lane\Daresbury 9 HIGs application - DPA Architects 19-06-19 Draw

Legend  
 R0\E00 Standards  
 R0E00 GFA 800 m2



1 Ground Floor Existing  
 1:50

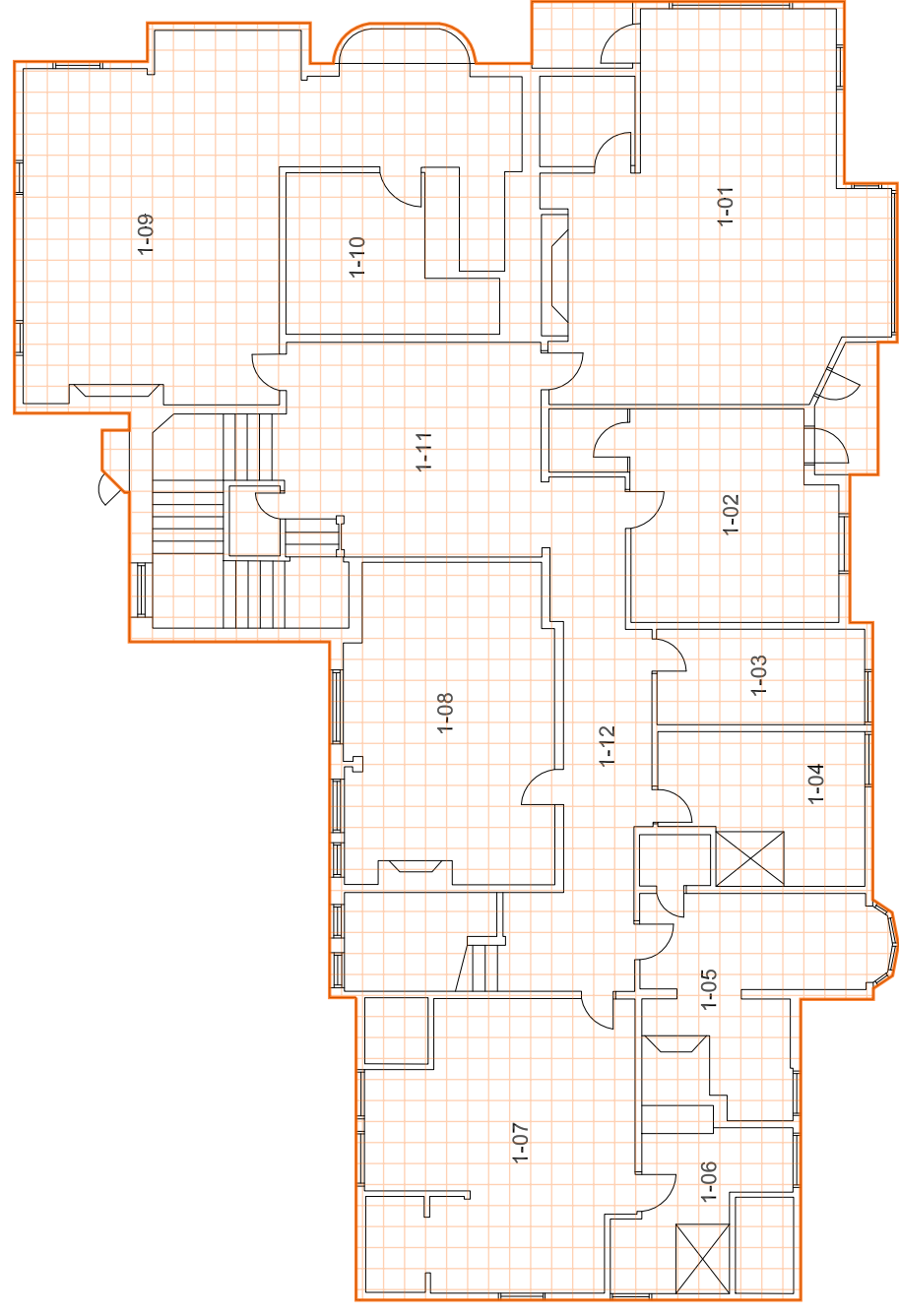
| Revision   | Description | Date |
|--|-------------|------|
| <br>85 Victoria Road, PO BOX 32319<br>Dunedin, AUCKLAND 9141<br><a href="http://www.dpaarchitects.co.nz">www.dpaarchitects.co.nz</a><br>info@dpadun.co.nz |             |      |
| COMPANY NAME<br><b>DARESURY</b><br>COMPANY ADDRESS   |             |      |
| PROJECT STATUS<br>Project Name: A102   |             |      |

# CostX Drawing


Project: Christchurch City Council  
 Building: 3380/002 - Daresbury House

Drawing: DPA Architects\A104 - First Floor Existing  
 Filename: R:\CostX Drawings\3CH\3CH 33\3380 Heritage Plan Change\3380\_002 3 Daresbury Lane\Daresbury 9 HIGs application - DPA Architects 19-06-19 Draw

Legend  
 R0\E00 Standards  
 R0E00 GFA 599 m2



1 First Floor Existing  
 1 : 50


| Revision  | Description                             | Date |
|---|---|------|
| <br>85 Victoria Road, PO BOX 32319<br>Dunedin, Auckland 9141<br>www.dpaarchitects.co.nz<br>info@dpadunedin.co.nz |   |      |
| Job Site<br><b>DARESBUURY</b><br>67 www.dpaarchitects.co.nz   |   |      |
| First Floor Existing  |   |      |
| Drawn By: J. Taylor   | Checked By: J. Taylor                   |      |
| Job No: 1906  | Project Name: 3380 Heritage Plan Change |      |
| Project Status  |   |      |
| Scale: As Shown   | Rev: A104                               |      |
| Prepared by: J. Taylor<br>Checked by: J. Taylor<br>Drawn by: J. Taylor<br>Date: 19/06/2019  |   |      |


# CostX Drawing

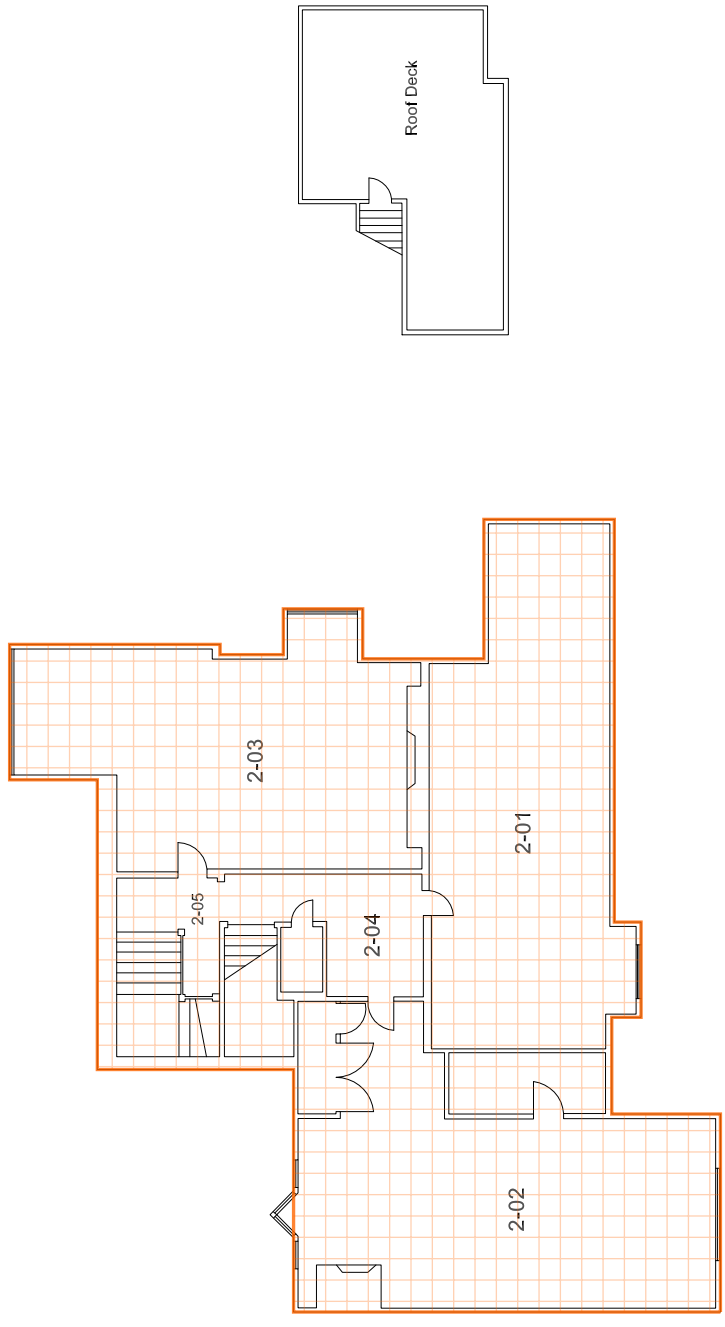
Project: Christchurch City Council  
 Building: 3380/002 - Daresbury House

Drawing: DPA Architects\A106 - Second Floor Existing  
 Filename: R:\CostX Drawings\3CH\3CH 33\3380 Heritage Plan Change\3380\_002 3 Daresbury Lane\Daresbury 9 HIGs application - DPA Architects 19-06-19 Draw

**Legend**

R0\E00 Standards  
 R0E00 GFA 244 m2

| Revision  | Description               | Date |
|---|---------------------------|------|
|  <p>83 Victoria Road, PO BOX 32839<br/>                 Downtown Auckland 1014<br/>                 www.dpaarchitects.co.nz<br/>                 info@dpaa.co.nz</p> |                           |      |
| Job No:   | DARESBUARY                |      |
| Job Title:  | DARESBUARY                |      |
| Client:   | CHRISTCHURCH CITY COUNCIL |      |
| Project Status:   | Second Floor Existing     |      |
| Drawn By:   | D. MCKENZIE               |      |
| Check By:   | D. MCKENZIE               |      |
| Job No.:  | 13267                     |      |
| Project Name:   | 19/06/2019 13:07:00 PM    |      |
| Scale:  | 1:1                       |      |
| Sheet No.:  | A106                      |      |
| Sheet Title:  | Second Floor Existing     |      |



1 Second Floor Existing  
 1:50



**NZS 3910:2003**

**APPENDIX A – COST FLUCTUATION ADJUSTMENT BY INDEXATION**

**A1**

The provisions of this Appendix shall apply unless otherwise specifically provided in the Special Conditions.

**A2**

The amounts payable by the Principal to the Contractor under the contract shall be adjusted up or down by amounts calculated in accordance with the following formula:

where

$$C=V \left[ \frac{0.4(L-L')}{L'} + \frac{0.6(M-M')}{M'} \right]$$

C = Cost fluctuation adjustment for the quarter under consideration,

V = Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A3, but without deduction of retentions and excluding the Cost fluctuation adjustment,

L = Labour Cost Index; Private Sector: Industry Group – Construction: All Salary and Wage Rates: published by Statistics New Zealand, for the quarter under consideration,

L' = Index as defined under L but applying for the quarter during which tenders close,

M = Producers Price Index; Inputs: Industry Group – Construction, published by Statistics New Zealand applying for the quarter under consideration,

M' = Index as defined under M but applying for the quarter during which tenders close.

**A3**

For the purpose of calculating the Cost fluctuation adjustment, any Daywork, Prime Cost Sums, Variations and other payment items which are based on actual Cost or current prices and any advances shall be excluded from the Engineer's valuation.

**A4**

No other Cost fluctuation adjustment will be made by reason of any inaccuracy in the proportions of labour and Material Costs assumed in the above formula.

**A5**

The Contractor shall not be entitled to claim or have deducted any Cost fluctuation adjustment for any further changes in indices which occur after the Due Date for Completion of the contract.

**A6**

The indices to be used in the calculation of fluctuation shall be those first published by Statistics New Zealand for the appropriate quarter.

**A7**

Where indices for the quarter have not yet been published, interim payments will be made on the basis of the indices for the most recent quarter for which indices are available.

**A8**

If at any time either of the indices referred to in A2 are no longer published by Statistics New Zealand, or if the basis of either index is materially changed, the adjustment shall thereafter be calculated by using such other index, or in such other manner, as will fairly reflect the changes as previously measured by that index.

For Statistics New Zealand Producers price index information goto <T:\RACL - Information Point\Cost Information\Business Price Indexes>

**Appendix C**  
Cost Fluctuation Adjustment Calculations By Indexations

**HIN 185 - Dwelling, Daresbury And Setting - 9 Daresbury Lane, 67 And 67B Fendalton Road Christchurch**

**Cost Fluctuation Adjustment Calculations By Indexation**

**MILNE CONSTRUCTION**

- Option 1** Daresbury House - Reduced Repair Quotation (03 July 2019)
- Option 2** Rhodes + Associates Adjusted Option 1 (Changes To Calculations %s of Margins, Contingencies, Professional Fees, P&G)
- Option 3** Rhodes + Associates Adjusted Option 2 (Changes To Value Of %s of Margins, Contingencies, Professional Fees, P&G)

$$C=V \left[ \frac{0.4(L-L)}{L'} + \frac{0.6(M-M)}{M'} \right]$$

|    | Period  | Year/Quarter | Option 1<br>Daresbury House<br>- Reduced<br>Repair Quotation<br>(03 July 2019) | Option 2<br>Rhodes +<br>Associates<br>Adjusted Option<br>1 (Changes To<br>Calculations %s<br>of Margins,<br>Contingencies,<br>Professional<br>Fees, P&G) | Difference<br>Between Option 1<br>and 2 | Option 3<br>Rhodes +<br>Associates<br>Adjusted Option<br>2 (Changes To<br>Value Of %s of<br>Margins,<br>Contingencies,<br>Professional<br>Fees, P&G) | Difference<br>Between Option 1<br>and 3 |
|----|---|--------------|--|--|---|--|---|
| C  | Cost fluctuation adjustment for the quarter under consideration, (rounded up to the nearest \$)   |              | \$ 1,069,005.00  | \$ 1,096,964.00  | \$ 27,959.00                            | \$ 1,132,876.00  | \$ 63,871.00                            |
| V  | Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A3, but without deduction of retentions |              | \$ 5,419,124.00  | \$ 5,560,854.00  | \$ 141,730.00                           | \$ 5,742,905.00  | \$ 323,781.00                           |
| L  | Labour Cost Index: Private Sector: Industry Group – Construction: All Salary and Wage Rates: published July to September 2023   | 2023 Q3      | 1377   | 1377   |   | 1377   |   |
| L' | Index as defined under L but applying for the quarter during which tenders close, July to September 2019  | 2019 Q3      | 1227   | 1227   |   | 1227   |   |
| M  | Producers Price Index: Inputs: Industry Group – Construction, published by Statistics New Zealand applying for the quarter under consideration, July to September 2023                        | 2023 Q3      | 1488   | 1488   |   | 1488   |   |
| M' | Index as defined under M but applying for the quarter during which tenders close, July to September 2019  | 2019 Q3      | 1193   | 1193   |   | 1193   |   |
|    | <b>Adjusted value (Rounded up to nearest \$)</b>  |              | \$ 6,488,129.00  | \$ 6,657,818.00  | \$ 169,689.00                           | \$ 6,875,781.00  | \$ 387,652.00                           |
|    | Adjusted value per m2, based on 1,643 m2. (Rounded to nearest \$)   |              | \$ 3,949.00  | \$ 4,052.00  | \$ 103.00                               | \$ 4,185.00  | \$ 236.00                               |





**Labour Cost Index - LCI - L and L<sup>1</sup> -  
Jan 2011 to Dec 2020**

**Work Income And Spending | Labour  
Cost Index**

**Private Sector and Industry Group  
(ANZSIC06)(Base: June 2009 qtr (=1000))  
(Qrtly-Mar/Jun/Sep/Dec)**

|         | <b>All Salary and<br/>Wage Rates<br/>Construction</b> | <b>Movement In<br/>Index</b> |
|---------|---|------------------------------|
| 2019Q3  | 1227  | 5                            |
| 2019Q4  | 1236  | 9                            |
| 2020Q1  | 1242  | 6                            |
| 2020Q2  | 1235  | -7                           |
| 2020Q3  | 1246  | 11                           |
| 2020Q4  | 1253  | 7                            |
| 2021Q1  | 1264  | 11                           |
| 2021Q2  | 1273  | 9                            |
| 2021Q3  | 1284  | 11                           |
| 2021Q4  | 1294  | 10                           |
| 2022Q1  | 1305  | 11                           |
| 2022Q2  | 1326  | 21                           |
| 2022Q3  | 1336  | 10                           |
| 2022Q4  | 1353  | 17                           |
| 2023Q1  | 1361  | 8                            |
| 2023Q2* | 1369  | 8                            |
| 2023Q3* | 1377  | 8                            |

*Last updated by Statistics New Zealand 03  
May 2023 at 10:45am*

**Producers Price Index - PPI - M and  
M<sup>1</sup> - Jan 2011 to Dec 2020**

**Economic Indicators | Producers Price  
Index - PPI**

**Inputs (ANZSIC06) - NZSIOC level 1, Base:  
Dec. 2010 quarter (=1000) (Qrtly-  
Mar/Jun/Sep/Dec)**

|         | <b>Construction</b> | <b>Movement In<br/>Index</b> |
|---------|---------------------|------------------------------|
| 2019Q3  | 1193                | 9                            |
| 2019Q4  | 1199                | 6                            |
| 2020Q1  | 1202                | 3                            |
| 2020Q2  | 1198                | -4                           |
| 2020Q3  | 1207                | 9                            |
| 2020Q4  | 1211                | 4                            |
| 2021Q1  | 1223                | 12                           |
| 2021Q2  | 1246                | 23                           |
| 2021Q3  | 1277                | 31                           |
| 2021Q4  | 1304                | 27                           |
| 2022Q1  | 1353                | 49                           |
| 2022Q2  | 1409                | 56                           |
| 2022Q3  | 1445                | 36                           |
| 2022Q4  | 1467                | 22                           |
| 2023Q1  | 1474                | 7                            |
| 2023Q2* | 1481                | 7                            |
| 2023Q3* | 1488                | 7                            |

*Last updated by Statistics New Zealand 18  
May 2023 at 10:45am*

\* Denotes estimated indices taken as movement in last confirmed quarter

**Appendix E**  
Adjustments to Milne Construction Quotation

**MILNE CONSTRUCTION**

**Option 1** Daresbury House - Reduced Repair Quotation (03 July 2019)

**Option 2** Rhodes + Associates Adjusted Option 1 (Changes To Calculations %'s of Margins, Contingencies, Professional Fees, P&G)

**Option 3** Rhodes + Associates Adjusted Option 2 (Changes To Value Of %'s of Margins, Contingencies, Professional Fees, P&G)

| DESCRIPTION  | OPTION 1<br>Daresbury House -<br>Reduced Repair<br>Quotation (03 July 2019) | OPTION 2<br>Rhodes + Associates<br>Adjusted Option 1<br>(Changes To<br>Calculations %'s of<br>Margins, Contingencies,<br>Professional Fees, P&G) | OPTION 3<br>Rhodes + Associates<br>Adjusted Option 2<br>(Changes To Value Of<br>%s of Margins,<br>Contingencies,<br>Professional Fees, P&G) |
|--|---|--|---|
| <b>Milne Construction - Sub Total Excluding GST</b>  | <b>\$4,179,704.89</b>   | <b>\$4,179,704.89</b>  | <b>\$4,179,704.89</b>   |
| <b>Omit as included within P&amp;G</b>   |   |  |   |
| <i>Establishment - Storage Containers</i>  |   |  |   |
| <i>Establishment - Site Office</i>   |   |  |   |
| <i>Insurance - Contract Works</i>  |   |  |   |
| <i>Mobile Scaffolding - Hire for Stairwells and Interior</i>   |   |  |   |
| <i>Environmental - Control report including Monitoring</i>   |   |  |   |
| <i>Scaffolding for Duration of Works</i>   |   |  |   |
| <i>Locksmith - ReKey Cellar Door and Courtyard Key Pad</i>   |   |  |   |
| <b>Sub Total Excluding GST</b>   | <b>\$4,179,704.89</b>   | <b>\$4,179,704.89</b>  | <b>\$3,942,028.02</b>   |
| Margins  | 7.50% \$ 313,477.87   | 5.00% \$ 208,985.24  | 12.00% \$ 473,043.36  |
| Contingencies  | 10.00% \$ 417,970.49  | 7.50% \$ 335,901.76  | 7.50% \$ 331,130.35   |
| Professional Fees  | 5.00% \$ 208,985.24   | 10.00% \$ 481,459.19   | 10.00% \$ 474,620.17  |
| Project Management   | \$ 90,000.00  | 5.00% \$ 264,802.55  | 10.00% \$ 522,082.19  |
| P&G  | \$ 208,985.24   |  |   |
| Preliminaries  |   |  |   |
| Project Management   |   |  |   |
| Margins  |   |  |   |
| Contract Contingencies   |   |  |   |
| Other Development Costs (Professional Fees)  |   |  |   |
| <b>Sub Total Excluding GST Including Margins, Contingencies and P&amp;G<br/>(Rounded up to nearest \$)</b> | <b>\$5,419,124.00</b>   | <b>\$5,560,854.00</b>  | <b>\$5,742,905.00</b>   |

A  
B = 7.5% of A  
C = 7.5% of A  
D = 7.5% of A  
E  
F = 7.5% of A  
G = (A+B+C+D+E+H)

B = 5% of A  
C  
D = 7.5% of (A+B+C)  
E = 10% of (A+B+C+D)  
F = 5% of (A+B+C+D+E)  
G = A+B+C+D+E+H

B = 12% of A  
C  
D = 7.5% of (A+B+C)  
E = 10% of (A+B+C+D)  
F = 10% of (A+B+C+D+E)  
G = A+B+C+D+E+H



Address Daresbury House - Reduced Repair Quotation  
 Property Reference # Lot 2 DP49363 & Lot 3 DP49363  
 Valuation # 22015 11001  
 Customer Name Journey Holdings Limited  
 Customer Address PO Box 3158, Waikuku Beach 7448  
 Customer Email [bronwyn@southernscreenworks.co.nz](mailto:bronwyn@southernscreenworks.co.nz)  
 Customer Phone 03 3181198  
 Main Contact Person James Milne - Milne Construction Ltd  
 Work Phone 03 3514085  
 Mobile 021 423423  
 Date 3/07/2019



This Quotation has been prepared to carry out Engineered Design by Quion to repair the Building to a minimum of 67% of the Current Building Code. Allowances have been made to return all Aspects of the Exterior to Visually appear similar as pre-Earthquake with the Interior having an Altered Layout including Finishes. This would be done using current Building Techniques. Foundation would be a Concrete Steel Reinforced Grid Foundation with Timber Piles. The Structural Walls would be Timber Framed with Structural Steel Portals and Beams where required. Chimney Structures would be replaced with Structural Steel Frames; Fibreglass and Slip Brick Replica Chimneys installed to Two Areas where PreExisting Chimneys stood; Five Chimneys being deleted. Ply Bracing installed to all Exterior. The Exterior Cladding would be a combination of Red Brick Veneer (using 20% of Existing) and Pebbled Ash Plaster with Timber Facings on a Fibre Cement Sheet including a 20mm Cavity. The Roof Covering would be Terracotta Tiles, using 65% of Existing. New Ply, Membrane and Battens would be installed prior to Tile Reinstatement/Installation. All Metal Gutter to be replaced; reusing Cast Iron Rainheads where possible. Interior Linings would be a combination of New Gib & Existing Rimu Panelling Reinstalled. Four Brick Fireplaces to be carefully removed/refitted where possible. All care would be taken to Preserve Joinery and Fixtures for Reinstatement where able. Insulation to be installed in all Floors, Walls and Ceilings.

|   |           |                     |
|---|-----------|---------------------|
| Site Preparation  | \$        | 519,730.00          |
| SubStructure  | \$        | 562,654.00          |
| Walls & Framing   | \$        | 445,470.10          |
| Cladding  | \$        | 554,563.30          |
| Roof  | \$        | 587,262.00          |
| G01   | \$        | 55,496.38           |
| G02   | \$        | 38,686.70           |
| G03   | \$        | 59,024.74           |
| G04 - New Garage  | \$        | 25,643.00           |
| G05   | \$        | 4,252.00            |
| G06 - Merged with G04   | \$        | -                   |
| G07 - Merged with G04   | \$        | -                   |
| G08 - Merged with G04   | \$        | -                   |
| G09 - Merged with G04   | \$        | -                   |
| G10 - Merged with G04   | \$        | -                   |
| G11 - Merged with G04   | \$        | -                   |
| G12 - Merged with G04   | \$        | -                   |
| G13   | \$        | 11,491.00           |
| G14   | \$        | 17,068.00           |
| G15   | \$        | 6,704.00            |
| G16   | \$        | 8,685.00            |
| G17   | \$        | 8,104.00            |
| G18   | \$        | 16,531.50           |
| G19   | \$        | 14,941.00           |
| G20   | \$        | 43,232.00           |
| G21   | \$        | 20,912.00           |
| G22   | \$        | 36,430.00           |
| G23   | \$        | 8,369.70            |
| G-Cellar  | \$        | 1,000.00            |
| F01   | \$        | 31,707.10           |
| F02   | \$        | 18,810.50           |
| F03   | \$        | 16,767.00           |
| F04   | \$        | 21,762.50           |
| F05   | \$        | 14,071.50           |
| F06   | \$        | 22,354.50           |
| F07   | \$        | 15,081.00           |
| F08   | \$        | 12,554.50           |
| F09   | \$        | 22,396.00           |
| F10   | \$        | 24,150.00           |
| F11   | \$        | 15,629.00           |
| F12   | \$        | 14,284.00           |
| F13   | \$        | 25,903.00           |
| S01   | \$        | 20,741.00           |
| S02   | \$        | 43,967.00           |
| S03   | \$        | 15,778.00           |
| S04   | \$        | 15,077.00           |
| S05   | \$        | 18,460.00           |
| Contents  | \$        | 82,913.00           |
| Sanitary Plumbing & Gas   | \$        | 76,784.00           |
| Mechanical Services   | \$        | 42,355.00           |
| Fire Services   | \$        | 65,000.00           |
| Electrical Services   | \$        | 114,230.00          |
| Drainage  | \$        | 28,600.00           |
| Exterior  | \$        | 168,402.00          |
| Allowances  | \$        | 185,676.87          |
| <b>Sub Total Excluding GST</b>  | <b>\$</b> | <b>4,179,704.89</b> |
| Margins   | \$        | 313,477.87          |
| Contingencies   | \$        | 417,970.49          |
| Professional Fees   | \$        | 208,985.24          |
| Project Management  | \$        | 90,000.00           |
| P&G   | \$        | 208,985.24          |
| <b>Sub Total Excluding GST Including Margins, Contingencies and P&amp;G</b> | <b>\$</b> | <b>5,419,123.73</b> |
| <b>GST</b>  | <b>\$</b> | <b>812,868.56</b>   |
| <b>Total</b>  | <b>\$</b> | <b>6,231,992.29</b> |

| Area      | Aspect                | Repair   | Measurement   | Sub-Cont'    | Hours | Qty | Rate     | Unit | Measure | Rate | Sub Total    | Materials   | Area Total   | Comments                         | Sub-Totals |
|-----------|-----------------------|--|---|--------------|-------|-----|----------|------|---------|------|--------------|-------------|--------------|----------------------------------|------------|
| Site Prep | Establishment         | Establishment - Storage Container:   | 6x 40 Foot  | \$ 27,000.00 | hr    | 300 | \$ 50.00 |      |         |      | \$ 15,000.00 | \$8,000.00  | \$ 50,000.00 |                                  |            |
| Site Prep | Establishment         | Establishment - Site Office  |   | \$ 6,000.00  |       |     |          |      |         |      | \$ -         |             | \$ 6,000.00  |                                  |            |
| Site Prep | Sediment Control      | Sediment Control - Install Perimeter Sediment Control and Monitor  |   | \$ 10,000.00 |       |     |          |      |         |      | \$ -         |             | \$ 10,000.00 |                                  |            |
| Site Prep | Salvage               | Salvage - Internal Doors to be Catalogued, Removed and Stored Carefully for Reuse  | 39  |              | hr    | 110 | \$ 50.00 |      |         |      | \$ 5,500.00  | \$585.00    | \$ 6,085.00  |                                  |            |
| Site Prep | Salvage               | Salvage - Exterior Windows, Skylights and Doors including Garage Door and Wrought Iron Gate to be Catalogued, Removed and Stored Carefully for Reuse | 62x Windows 10x<br>Ext Door 3x<br>Skylights   |              | hr    | 375 | \$ 50.00 |      |         |      | \$ 18,750.00 | \$950.00    | \$ 19,700.00 |                                  |            |
| Site Prep | Salvage               | Salvage - Rimu, Mahogany and Oak Timber Wall Panelling including G01-4 Fireplace Joinery to be Catalogued, Removed and Stored Carefully for Reuse    | 362.01 m2   |              | hr    | 500 | \$ 50.00 |      |         |      | \$ 25,000.00 | \$585.00    | \$ 25,585.00 |                                  |            |
| Site Prep | Salvage               | Salvage - Cellar Door to be Catalogued, Removed and Stored Carefully for Reuse   |   | \$ 450.00    | hr    | 4   | \$ 50.00 |      |         |      | \$ 200.00    | \$50.00     | \$ 700.00    | Note: No Key, Locksmith Required |            |
| Site Prep | Salvage               | Salvage - Cool Room to be Catalogued, Removed and Stored Carefully for Reuse   |   | \$ 450.00    | hr    | 16  | \$ 50.00 |      |         |      | \$ 800.00    | \$100.00    | \$ 1,350.00  | DeGas Refrigeration Unit         |            |
| Site Prep | Salvage               | Salvage - Gas Fire Places to be Catalogued, Removed and Stored Carefully for Reuse   | 14  | \$ 1,600.00  | hr    | 70  | \$ 50.00 |      |         |      | \$ 3,500.00  | \$500.00    | \$ 5,600.00  | Gasfitter                        |            |
| Site Prep | Salvage               | Salvage - Oak and Rimu Ceiling Panelling to be Catalogued, Removed and Stored Carefully for Reuse  | 187.64 m2   |              | hr    | 243 | \$ 50.00 |      |         |      | \$ 12,150.00 | \$585.00    | \$ 12,735.00 |                                  |            |
| Site Prep | Salvage               | Salvage - Kitchen Joinery to be Catalogued, Removed and Stored Carefully for Reuse   |   |              | hr    | 50  | \$ 50.00 |      |         |      | \$ 2,500.00  | \$950.00    | \$ 3,450.00  |                                  |            |
| Site Prep | Salvage               | Salvage - Laundry Joinery including Butlers Sink to be Catalogued, Removed and Stored Carefully for Reuse  |   |              | hr    | 30  | \$ 50.00 |      |         |      | \$ 1,500.00  | \$200.00    | \$ 1,700.00  |                                  |            |
| Site Prep | Salvage               | Salvage - General Joinery, Shelving and Cupboards to be Catalogued, Removed and Stored Carefully for Reuse   |   |              | hr    | 120 | \$ 50.00 |      |         |      | \$ 6,000.00  | \$200.00    | \$ 6,200.00  |                                  |            |
| Site Prep | Salvage               | Salvage - Staircases and Balustrading to be Catalogued, Removed and Stored Carefully for Reuse   |   |              | hr    | 80  | \$ 50.00 |      |         |      | \$ 4,000.00  | \$200.00    | \$ 4,200.00  |                                  |            |
| Site Prep | Salvage               | Salvage - Feature Posts, Beams, Arches and Corbells to be Catalogued, Removed and Stored Carefully for Reuse   |   |              | hr    | 120 | \$ 50.00 |      |         |      | \$ 6,000.00  | \$950.00    | \$ 6,950.00  |                                  |            |
| Site Prep | Salvage               | Salvage - Bathroom Joinery & Fixtures to be Catalogued, Removed and Stored Carefully for Reuse. Disposal of Items being Replaced                     | 8 x Towel Rails<br>3 x Toilet Roll Holders<br>1x Bidet<br>6 x Shower Mixer<br>2 x Shower Rose<br>6 x Shower Slide<br>3 x Basin & Taps<br>2 x Bath & Mixer<br>Bath & Shower Freestanding<br>2 x Bath Surround<br>2 x Mirrors<br>1x Mirror Cabinet<br>6 x Shower Glass<br>9 x Toilet<br>8 x Vanity<br>8 x Waste |              | hr    | 80  | \$ 50.00 |      |         |      | \$ 4,000.00  | \$200.00    | \$ 4,200.00  |                                  |            |
| Site Prep | Floor                 | Floor - Remove, Dispose Red Wool Carpet  | 804.16 m2   |              | hr    | 85  | \$ 50.00 |      |         |      | \$ 4,250.00  | \$3,000.00  | \$ 7,250.00  | Note: PPE Required               |            |
| Site Prep | Floor                 | Floor - Remove and Dispose Solid Oak Parquet with Border   | 38.74 m2  |              | hr    | 6   | \$ 50.00 |      |         |      | \$ 300.00    | \$100.00    | \$ 400.00    |                                  |            |
| Site Prep | Floor                 | Floor - Remove and Dispose Tiles including Shower Base   | 64.8 m2   |              | hr    | 60  | \$ 50.00 |      |         |      | \$ 3,000.00  | \$700.00    | \$ 3,700.00  |                                  |            |
| Site Prep | Wall Linings          | Wall Linings - Remove Combination of Gib, Lath & Plaster, Battens and Dispose  | 1343.37 m2  |              | hr    | 671 | \$ 50.00 |      |         |      | \$ 33,550.00 | \$5,850.00  | \$ 39,400.00 |                                  |            |
| Site Prep | Wall Linings          | Wall Linings - Remove and Dispose Tiles  | 246.23 m2   |              | hr    | 123 | \$ 50.00 |      |         |      | \$ 6,150.00  | \$2,250.00  | \$ 8,400.00  |                                  |            |
| Site Prep | Wall Linings          | Wall Linings - Remove and Store Fabric Panelling   | 54 Panels   |              | hr    | 54  | \$ 50.00 |      |         |      | \$ 2,700.00  | \$700.00    | \$ 3,400.00  |                                  |            |
| Site Prep | Wall Linings          | Wall Linings - Remove and Dispose Hardies Villaboard   | 246.23 m2   |              | hr    | 123 | \$ 50.00 |      |         |      | \$ 6,150.00  | \$1,260.00  | \$ 7,410.00  |                                  |            |
| Site Prep | Wall Linings          | Wall Linings - Remove and Dispose Brick and Brick/Timber/Plaster Combination   | 1428 m2   |              | hr    | 642 | \$ 50.00 |      |         |      | \$ 32,100.00 | \$7,000.00  | \$ 39,100.00 | 1428 m2 Minus 10% for Openings   |            |
| Site Prep | Ceiling Linings       | Ceiling Linings - Remove Combination of Gib, Lath & Plaster, Battens, Coved Sections and Dispose   | 657.10 m2   |              | hr    | 328 | \$ 50.00 |      |         |      | \$ 16,400.00 | \$3,150.00  | \$ 19,550.00 |                                  |            |
| Site Prep | Ceiling - Moulding    | Ceiling - Remove and Store Rimu Detailed Moulding  | 77.6 m  |              | hr    | 120 | \$ 50.00 |      |         |      | \$ 6,000.00  | \$510.00    | \$ 6,510.00  |                                  |            |
| Site Prep | Ceiling Linings       | Ceiling - Remove and Store T&G Detailed  | 13 m2   |              | hr    | 25  | \$ 50.00 |      |         |      | \$ 1,250.00  | \$225.00    | \$ 1,475.00  |                                  |            |
| Site Prep | Curved Ceiling Scotia | Curved Ceiling Scotia - Remove, Store Oak  | 26 Panels   |              | hr    | 18  | \$ 50.00 |      |         |      | \$ 900.00    | \$250.00    | \$ 1,150.00  |                                  |            |
| Site Prep | Picture Rail          | Picture Rail - Remove and Dispose  | 52.3m   |              | hr    | 26  | \$ 50.00 |      |         |      | \$ 1,300.00  | \$250.00    | \$ 1,550.00  |                                  |            |
| Site Prep | Dado Rail             | Dado Rail - Remove and Dispose Oak   | 23m   |              | hr    | 8   | \$ 50.00 |      |         |      | \$ 400.00    | \$150.00    | \$ 550.00    |                                  |            |
| Site Prep | Seating Platform      | Seating Platform - Remove and Dispose Two Step Up  | 16 m2   |              | hr    | 18  | \$ 50.00 |      |         |      | \$ 900.00    | \$250.00    | \$ 1,150.00  |                                  |            |
| Site Prep | Skirting              | Skirting - Remove and Dispose MDF  | 319m  |              | hr    | 40  | \$ 50.00 |      |         |      | \$ 2,000.00  | \$250.00    | \$ 2,250.00  |                                  |            |
| Site Prep | Chimneys              | Chimneys - Remove, Dispose All Chimney Stacks inside Structure   |   |              | hr    | 810 | \$ 50.00 |      |         |      | \$ 40,500.00 | \$5,000.00  | \$ 45,500.00 |                                  |            |
| Site Prep | Sub-Floor             | Sub-Floor - Remove, Dispose Timber including all Piles   | 546 m2  |              | hr    | 340 | \$ 50.00 |      |         |      | \$ 17,000.00 | \$4,200.00  | \$ 21,200.00 |                                  |            |
| Site Prep | Ground Works          | Ground Works - Excavate Sub-Floor to New Clearances  | 164 m3  |              | hr    | 300 | \$ 50.00 |      |         |      | \$ 15,000.00 | \$4,920.00  | \$ 19,920.00 |                                  |            |
| Site Prep | Porch Structure       | Porch Structure - To Entrance, Remove and Store  | 3600W x 3000H   |              | hr    | 40  | \$ 50.00 |      |         |      | \$ 2,000.00  | \$950.00    | \$ 2,950.00  |                                  |            |
| Site Prep | Balcony Structure     | Balcony Structure - Remove and Store including Balustrade and Floor  |   |              | hr    | 40  | \$ 50.00 |      |         |      | \$ 2,000.00  | \$950.00    | \$ 2,950.00  | EF                               |            |
| Site Prep | Boiler Plant Room     | Boiler Plant Room - Remove Plant and Structure including Concrete Piles  |   |              | hr    | 60  | \$ 50.00 |      |         |      | \$ 3,000.00  | \$950.00    | \$ 3,950.00  |                                  |            |
| Site Prep | Wall Cladding         | Wall Cladding - Carefully Remove Triple Course Exterior Red Brick, Salvaging where able  | 435 m2  |              | hr    | 870 | \$ 50.00 |      |         |      | \$ 43,500.00 | \$18,000.00 | \$ 61,500.00 |                                  |            |
| Site Prep | Wall Cladding         | Wall Cladding - Remove Plaster and Red Brick In-Fill, Dispose  | 421 m2  |              | hr    | 200 | \$ 50.00 |      |         |      | \$ 10,000.00 | \$4,900.00  | \$ 14,900.00 |                                  |            |
| Site Prep | Brick Paving          | Brick Paving - Remove and Dispose Border with Paved Brick In-Fill  | 329.6 m2  | \$ 13,160.00 |       |     |          |      |         |      | \$ -         |             | \$ 13,160.00 |                                  |            |
| Site Prep | Corbells              | Corbells - Remove and Store  | 77  |              | hr    | 150 | \$ 50.00 |      |         |      | \$ 7,500.00  | \$250.00    | \$ 7,750.00  |                                  |            |
| Site Prep | Deck                  | Deck - Remove and Dispose Hardwood with Perimeter Foundation and Detailed Moulded Board  | 25 m2   |              | hr    | 20  | \$ 50.00 |      |         |      | \$ 1,000.00  | \$700.00    | \$ 1,700.00  |                                  |            |
| Site Prep | Downpipes             | Downpipe - Remove and Store Cast Iron with Rainhead and Coloursteel Combination  | 74.4m   |              | hr    | 63  | \$ 50.00 |      |         |      | \$ 3,150.00  | \$100.00    | \$ 3,250.00  |                                  |            |
| Site Prep | Mouldings             | Mouldings - Remove and Store Timber to Bay Window, 70mm and Verandah   | 47m   |              | hr    | 10  | \$ 50.00 |      |         |      | \$ 500.00    | \$100.00    | \$ 600.00    |                                  |            |

|                             |                                   |  |                                       |               |    |         |             |               |  |              |            |               |   |
|-----------------------------|-----------------------------------|--|---------------------------------------|---------------|----|---------|-------------|---------------|--|--------------|------------|---------------|---|
| Site Prep                   | Plaster Mouldings                 | Plaster Mouldings - On-Site Mould Impression of Floral Mould Impression 400x400 (10) and Samuel Hirst Seager (2)   |                                       | \$ 1,800.00   | hr | 4       | \$ 50.00    |               |  | \$ 200.00    | \$100.00   | \$ 2,100.00   | Plastercraft                                      |
| Site Prep                   | Sub-Floor Vents                   | Sub-Floor Vents - Remove and Salvage Terracotta  | Floor 12 Wall 2                       |               | hr | 20      | \$ 50.00    |               |  | \$ 1,000.00  | \$100.00   | \$ 1,100.00   |   |
| Site Prep                   | Verandah Structure                | Verandah Structure - Remove and Store Post, Beam, Arch Structure including Roof Framing  | 40m2                                  |               | hr | 60      | \$ 50.00    |               |  | \$ 3,000.00  | \$500.00   | \$ 3,500.00   | NG-14   |
| Site Prep                   | Balcony Structure                 | Balcony Structure - Remove and Store Deck and Balustrade   | 2000W x 3000H x 1000D                 |               | hr | 40      | \$ 50.00    |               |  | \$ 2,000.00  | \$500.00   | \$ 2,500.00   | NF-10   |
| Site Prep                   | Verandah Structure                | Verandah Structure - Remove and Dispose 4 Posts, Waterproofed, Dummy Rafters, Mouldings, T&G Soffit, Membrane Roof and Balustrading                                | 2700W x 6000L 23m2                    |               | hr | 50      | \$ 50.00    |               |  | \$ 2,500.00  | \$500.00   | \$ 3,000.00   |   |
| Site Prep                   | Site Prep G06, G07, G08           | Site Prep G06, G07, G08 - Demolish and Dispose   | 38m2                                  |               | m2 | 38.00   | \$ 95.00    | \$ -          |  | \$500.00     | \$ 500.00  |               |   |
| Site Preparation Sub-Total  |                                   |  |                                       |               |    |         |             |               |  |              |            |               | \$ 519,730.00                                     |
| Site Prep                   | Foundations                       | Foundations - Remove and Dispose Existing where Replacement is Required  | 269m                                  | \$ 23,500.00  |    |         |             | \$ -          |  |              |            | \$ 23,500.00  |   |
| SubStructure                | Foundations                       | Kings House Removals to Lift and Prop Structure and Relocate on New Framework  |                                       | \$ 233,444.00 |    |         |             |               |  |              |            | \$ 233,444.00 |   |
| SubStructure                | Foundations                       | Foundations - Supply and Install Type One 450x550 Foundation Footing including Upstand, Excavation, Reinforcing Steel, Formwork, Concrete and Placing              |                                       |               | m3 | 20.00   | \$ 1,840.00 | \$ 36,800.00  |  |              |            | \$ 36,800.00  |   |
| SubStructure                | Foundations                       | Foundations - Supply and Install Type Two 330x550 Foundation Footing including Upstand, Excavation, Reinforcing Steel, Formwork, Concrete and Placing              |                                       |               | m3 | 7.00    | \$ 1,840.00 | \$ 12,880.00  |  |              |            | \$ 12,880.00  |   |
| SubStructure                | Foundations                       | Foundations - Supply and Install Type Three 500x500 Foundation Footing including Excavation, Reinforcing Steel, Formwork, Concrete and Placing                     |                                       |               | m3 | 15.00   | \$ 1,840.00 | \$ 27,600.00  |  |              |            | \$ 27,600.00  |   |
| SubStructure                | Foundations                       | Foundations - Supply and Install Type Four 150x500 Foundation Footing including Excavation, Reinforcing Steel, Formwork, Concrete and Placing                      |                                       |               | m3 | 0.40    | \$ 1,840.00 | \$ 736.00     |  |              |            | \$ 736.00     |   |
| SubStructure                | Foundations                       | Foundations - Supply and Install Type Five 400x400 Foundation Footing including Excavation, Reinforcing Steel, Formwork, Concrete and Placing                      |                                       |               | m3 | 6.00    | \$ 1,840.00 | \$ 11,040.00  |  |              |            | \$ 11,040.00  |   |
| SubStructure                | Foundations                       | Foundations - Supply and Install Type Six 500 RC Pad Foundation Footing including Excavation, Reinforcing Steel, Formwork, Concrete and Placing                    |                                       |               | m3 | 15.00   | \$ 1,840.00 | \$ 27,600.00  |  |              |            | \$ 27,600.00  |   |
| SubStructure                | Foundations                       | Foundations - Supply and Install Type Seven 450x500 Foundation Footing including Upstand, Excavation, Reinforcing Steel, Formwork, Concrete and Placing            |                                       |               | m3 | 0.60    | \$ 1,840.00 | \$ 1,104.00   |  |              |            | \$ 1,104.00   |   |
| SubStructure                | Foundations                       | Foundations - Supply and Install Garage Slab to South East Corner 7.3x10m  |                                       |               | m2 | 73.00   | \$ 890.00   | \$ 64,970.00  |  |              |            | \$ 64,970.00  |   |
| SubStructure                | Sub-Floor                         | Sub-Floor - Supply and Install Bearers, Joists, Polythene and Sheet Flooring   |                                       |               | m2 | 473.00  | \$ 260.00   | \$ 122,980.00 |  |              |            | \$ 122,980.00 |   |
| SubStructure Sub-Total      |                                   |  |                                       |               |    |         |             |               |  |              |            |               | \$ 562,654.00                                     |
| Wall Framing                | Wall Framing                      | Wall Framing - Supply and Install New Timber Framing 150x50 Exterior Brick Walls   |                                       |               | m2 | 435.00  | \$ 98.00    | \$ 42,630.00  |  |              |            | \$ 42,630.00  |   |
| Wall Framing                | Wall Framing                      | Wall Framing - Supply and Install New Timber Framing 100x50 Interior Walls   |                                       |               | m2 | 294.00  | \$ 88.00    | \$ 25,872.00  |  |              |            | \$ 25,872.00  |   |
| Wall Framing                | Framing                           | Framing - Adjust First and Second Floors for Reconnector   |                                       |               | hr | 160     | \$ 50.00    |               |  | \$ 8,000.00  | \$4,050.00 | \$ 12,050.00  |   |
| Chimneys                    | Chimney Structures & Wall Framing | Chimney Structures & Wall Framing Supply and Install New Steel   |                                       | \$ 198,218.10 | hr | 400     | \$ 50.00    |               |  | \$ 20,000.00 | \$6,500.00 | \$ 224,718.10 |   |
| Chimneys                    | Chimney Structures                | Chimney Structures - Supply and Install Block Work and Concrete Breasts to Five Chimneys   |                                       | \$ 2,800.00   | hr | 80      | \$ 50.00    |               |  | \$ 4,000.00  | \$1,350.00 | \$ 8,150.00   |   |
| Mid-Floors                  | Floor Joists                      | Floor Joists - Carry out Target Repairs including Flooring to Eliminate Deflection Issues  |                                       |               | hr | 160     | \$ 50.00    |               |  | \$ 8,000.00  | \$3,150.00 | \$ 11,150.00  |   |
| Wall Framing                | Wall Framing                      | Wall Framing - Straighten Exterior Only  |                                       |               | hr | 240     | \$ 50.00    |               |  | \$ 12,000.00 | \$500.00   | \$ 12,500.00  |   |
| Wall Framing                | Insulation                        | Insulation - Supply and Install Walls, Interior Walls, Ceiling and Floor   |                                       |               | m2 | 3820.00 | \$ 20.00    | \$ 76,400.00  |  |              |            | \$ 76,400.00  |   |
| Brick Work                  | Fireplaces                        | Fireplaces - Pulling Down and Numbering Bricks of Fireplaces, Relaying of Four Fireplaces  |                                       | \$ 32,000.00  |    |         |             |               |  | \$ -         |            | \$ 32,000.00  | Team Brick  |
| Walls and Framing Sub-Total |                                   |  |                                       |               |    |         |             |               |  |              |            |               | \$ 445,470.10                                     |
| Wall Cladding               | Bracing                           | Wall Cladding - Ply Bracing including All Hold Downs and Strapping   |                                       |               | m2 | 846.00  | \$ 75.00    | \$ 63,450.00  |  |              |            | \$ 63,450.00  |   |
| Wall Cladding               | Building Paper                    | Building Paper - Supply and Install including Flashing Tape to All Openings  |                                       |               | m2 | 846.00  | \$ 15.00    | \$ 12,690.00  |  |              |            | \$ 12,690.00  |   |
| Site                        | Salvage                           | Salvage - ReFit Exterior Windows, Skylights and Exterior Doors   | 62x Windows 10x Ext Door 3x Skylights |               | hr | 400     | \$ 50.00    |               |  | \$ 20,000.00 | \$1,755.00 | \$ 21,755.00  | Note: Wrought Iron Gate KeyPad requires Locksmith |
| Site                        | Salvage                           | Salvage - Supply and Install Missing Catches, Stays and Handles to Exterior Windows, Skylights and Doors including New Garage Doors and Existing Wrought Iron Gate |                                       |               | hr | 150     | \$ 50.00    |               |  | \$ 7,500.00  | \$5,250.00 | \$ 12,750.00  |   |
| Wall Cladding               | Cavity Battens                    | Cavity Battens - Supply and Install to Plaster Areas including All Flashing  |                                       |               | m2 | 421.00  | \$ 45.00    | \$ 18,945.00  |  |              |            | \$ 18,945.00  |   |
| Wall Cladding               | Flashing                          | Flashing - Remove, Dispose and Replace Ledge Flashing to North/West Gable  | 3m                                    |               | hr | 12      | \$ 50.00    |               |  | \$ 600.00    | \$600.00   | \$ 1,200.00   |   |
| Wall Cladding               | Lintels                           | Lintels - Supply and Install   |                                       |               | hr | 40      | \$ 50.00    |               |  | \$ 2,000.00  | \$2,300.00 | \$ 4,300.00   |   |
| Wall Cladding               | Sub-Floor Vents                   | Sub-Floor Vents - Reinstall Terracotta   | Floor 12 Wall 2                       |               | hr | 20      | \$ 50.00    |               |  | \$ 1,000.00  | \$1,900.00 | \$ 2,900.00   |   |
| Wall Cladding               | Fibre Cement Board                | Fibre Cement Board - Supply and Install to Plaster Areas   |                                       |               | m2 | 421.00  | \$ 75.00    | \$ 31,575.00  |  |              |            | \$ 31,575.00  |   |
| Wall Cladding               | Facings                           | Facings - Supply and Install   |                                       |               | m  | 1197.00 | \$ 40.00    | \$ 47,880.00  |  |              |            | \$ 47,880.00  |   |
| Wall Cladding               | Corbels                           | Corbels - Refit  | 77                                    |               | hr | 200     | \$ 50.00    |               |  | \$ 10,000.00 | \$700.00   | \$ 10,700.00  |   |
| Wall Cladding               | Termination Moulding              | Termination Moulding - Supply and Install  |                                       |               | m  | 257.00  | \$ 65.00    | \$ 16,705.00  |  |              |            | \$ 16,705.00  |   |
| Wall Cladding               | Fascia                            | Fascia - Repairs where Required  | 166.6m                                |               | hr | 150     | \$ 50.00    |               |  | \$ 7,500.00  | \$2,500.00 | \$ 10,000.00  |   |
| Wall Cladding               | Wall Cladding                     | Wall Cladding - Supply and Install Rock Cote Cement Sheet System with a Pebble Dash Finish including Painting with Resene X200                                     | 421 m2                                | \$ 109,650.00 |    |         |             |               |  | \$ -         |            | \$ 109,650.00 | Get Plastered                                     |
| Wall Cladding               | Plaster Mouldings                 | Plaster Mouldings - Supply and Installation of Floral Mould Impression 400x400 (10) and Samuel Hirst Seager (2)  |                                       | \$ 13,200.00  |    |         |             |               |  | \$ -         |            | \$ 13,200.00  | Plastercraft                                      |
| Wall Cladding               | Mouldings                         | Mouldings - Refit Timber to Bay Window, 70mm and Verandah  |                                       |               | m  | 47.00   | \$ 40.00    | \$ 1,880.00   |  |              |            | \$ 1,880.00   |   |









|                      |                 |   |                                      |             |    |       |          |    |       |           |              |             |                            |                        |
|----------------------|-----------------|---|--------------------------------------|-------------|----|-------|----------|----|-------|-----------|--------------|-------------|----------------------------|------------------------|
| G18-1                | Floor           | Floor - Red Wool Carpet Supply and Install  | 12.3m2                               |             |    |       |          | m2 | 12.30 | \$ 115.00 | \$ 1,414.50  | \$ 1,414.50 | Water Damaged Room         |                        |
| G18-2                | Wall Covering   | Wall Covering - Rimu Wall Panelling Reinstall and Polyurethane  | 27m2                                 | \$ 1,188.00 | hr | 108   | \$ 50.00 |    |       |           | \$ 5,400.00  | \$1,296.00  | \$ 7,884.00                |                        |
| G18-3                | Interior Door   | Interior Door - Rimu Stained with Leadlight Arch. Prep and Polyurethane   | 810W x 1970H                         | \$ 290.00   |    |       |          |    |       |           | \$ -         | \$ 290.00   |                            |                        |
| G18-4                | Exterior Door   | Exterior Door - Rimu Stained with Leadlight Arch and Sidelight. Prep and Polyurethane                           | 1400W x 1970H                        | \$ 526.00   |    |       |          |    |       |           | \$ -         | \$ 526.00   |                            |                        |
| G18-5                | Wall Covering   | Wall Covering - Embossed Wallpaper, Painted. Supply Gib, Stopping, Embossed Wallpaper and Paint                 | 22m2                                 |             |    |       |          | m2 | 22    | \$ 117.00 | \$ 2,574.00  | \$ 2,574.00 |                            |                        |
| G18-6                | Ceiling         | Ceiling - Rimu. Supply and Install New, Prep and Polyurethane   | 5.6m2                                | \$ 246.00   | hr | 22.00 | \$ 50.00 |    |       |           | \$ 1,100.00  | \$537.00    | \$ 1,883.00                | Rotten                 |
| G18-7                | Ceiling         | Ceiling - Lath & Plaster. Supply and Install Gib, Stopping and Pain   | 5.6m2                                |             |    |       |          | m2 | 5.60  | \$ 75.00  | \$ 420.00    | \$ 420.00   |                            |                        |
| G18-8                | Archway         | Archway - Timber and Brick. Rebuild Archway with Gib and Plaster  |                                      |             | hr | 14    | \$ 50.00 |    |       |           | \$ 700.00    | \$225.00    | \$ 925.00                  |                        |
| G18-9                | Wall Covering   | Wall Covering - Brick   | 49m2                                 |             |    |       |          |    |       |           | \$ -         | \$ -        | Covered under Wall Framing |                        |
| G18-10               | Feature Joinery | Feature Joinery - Square Rimu Opening. Reinstall, Prep and Polyurethane   | 1084W x 2057H                        | \$ 144.00   | hr | 6     | \$ 50.00 |    |       |           | \$ 300.00    | \$171.00    | \$ 615.00                  |                        |
| G18-11               | Light Fitting   | Light Fitting   | Two                                  |             |    |       |          |    |       |           |              | \$ -        | See Electrical Below       |                        |
| <b>G18 Sub-Total</b> |                 |   |                                      |             |    |       |          |    |       |           |              |             | \$ 16,531.50               |                        |
| G19-1                | Floor           | Floor - Red Wool Carpet Supply and Install  | 12m2                                 |             |    |       |          | m2 | 12    | \$ 115.00 | \$ 1,380.00  | \$ 1,380.00 |                            |                        |
| G19-2                | Wall Covering   | Wall Covering - Rimu Wall Panelling Reinstall and Polyurethane  | 22m2                                 | \$ 968.00   | hr | 88    | \$ 50.00 |    |       |           | \$ 4,400.00  | \$1,056.00  | \$ 6,424.00                |                        |
| G19-3                | Wall Covering   | Wall Covering - Embossed Wallpaper, Painted. Supply Gib, Stopping, Embossed Wallpaper and Paint                 | 14m2                                 |             |    |       |          | m2 | 14    | \$ 130.00 | \$ 1,820.00  | \$ 1,820.00 |                            |                        |
| G19-4                | Wall Covering   | Wall Covering - Brick and Timber  | 36m2                                 |             |    |       |          |    |       |           | \$ -         | \$ -        | Covered under Wall Framing |                        |
| G19-5                | Shelving        | Shelving - Rimu, 2 Shelves. Reinstall and Polyurethane  | 1400W x 900H                         | \$ 135.00   | hr | 7     | \$ 50.00 |    |       |           | \$ 350.00    | \$135.00    | \$ 620.00                  |                        |
| G19-6                | Ceiling         | Ceiling - Rimu. Reinstall and Polyurethane  | 12m2                                 | \$ 594.00   | hr | 54    | \$ 50.00 |    |       |           | \$ 2,700.00  | \$648.00    | \$ 3,942.00                |                        |
| G19-7                | Skylight        | Skylight - Leadlight and Stained Glass, 8 Panes. Refit Timber Panelling and Beads, Polyurethane                 | 1000W x 2800L                        | \$ 261.00   | hr | 7     | \$ 50.00 |    |       |           | \$ 350.00    | \$144.00    | \$ 755.00                  |                        |
| G19-8                | Track Lights    | Track Lights  | Eight                                |             |    |       |          |    |       |           | \$ -         | \$ -        | See Electrical Below       |                        |
| <b>G19 Sub-Total</b> |                 |   |                                      |             |    |       |          |    |       |           |              |             | \$ 14,941.00               |                        |
| G20-1                | Floor           | Floor - Red Wool Carpet Supply and Install  | 76m2                                 |             |    |       |          | m2 | 76    | \$ 115.00 | \$ 8,740.00  | \$ 8,740.00 |                            |                        |
| G20-2                | Wall Covering   | Wall Covering - Rimu Wall Panelling Reinstall and Polyurethane  | 52m2                                 | \$ 2,244.00 | hr | 208   | \$ 50.00 |    |       |           | \$ 10,400.00 | \$2,496.00  | \$ 15,140.00               |                        |
| G20-3                | Hearth          | Hearth - Small Brick. Supply and Install  | 1500W x 400D                         |             |    |       |          |    |       |           | \$ -         | \$ -        | See Team Brick             |                        |
| G20-4                | Fireplace       | Fireplace - Gas Splayed Corners Reinstall   | 1000W x 500D                         |             | hr | 8     | \$ 50.00 |    |       |           | \$ 400.00    | \$250.00    | \$ 650.00                  |                        |
| G20-5                | Mantle          | Mantle - Oak with Mirror. Reinstall and Polyurethane  | 1800W x 1850H                        | \$ 468.00   | hr | 12    | \$ 50.00 |    |       |           | \$ 600.00    | \$189.00    | \$ 1,257.00                |                        |
| G20-6                | Cupboard        | Cupboard - Rimu & Cedar Pool Cue. Reinstall and Polyurethane  | 800W x 1500H                         | \$ 234.00   | hr | 6     | \$ 50.00 |    |       |           | \$ 300.00    | \$135.00    | \$ 669.00                  |                        |
| G20-7                | Window          | Window - Leadlight. Prep and Polyurethane   | 1900W x 1400H                        | \$ 430.00   |    |       |          |    |       |           | \$ -         | \$ 430.00   |                            |                        |
| G20-8                | Window          | Window - Bay Leadlight with Exerior Cedar Door 480W. Prep and Polyurethane                                      | 3300W x 1900H                        | \$ 1,015.00 |    |       |          |    |       |           | \$ -         | \$ 1,015.00 |                            |                        |
| G20-9                | Window          | Window - Leadlight with Shutters. Prep and Polyurethane   | 1900W x 1400H                        | \$ 478.00   |    |       |          |    |       |           | \$ -         | \$ 478.00   |                            |                        |
| G20-10               | Window          | Window - Leadlight Angled x2. Prep and Polyurethane   | 1100W x 1000H                        | \$ 396.00   |    |       |          |    |       |           | \$ -         | \$ 396.00   |                            |                        |
| G20-11               | Window          | Window - Leadlight High x4. Prep and Polyurethane   | 600W x 1100H                         | \$ 475.00   |    |       |          |    |       |           | \$ -         | \$ 475.00   |                            |                        |
| G20-12               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        |                            |                        |
| G20-13               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        |                            |                        |
| G20-14               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        | See Team Brick             |                        |
| G20-15               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        |                            |                        |
| G20-16               | Wall Covering   | Wall Covering - Brick   | 120m2                                |             |    |       |          |    |       |           | \$ -         | \$ -        | Covered under Wall Framing |                        |
| G20-17               | Wall Covering   | Wall Covering - Wallpaper, Painted. Supply Gib, Stopping and Pain   | 46m2                                 |             |    |       |          | m2 | 46    | \$ 75.00  | \$ 3,450.00  | \$ 3,450.00 |                            |                        |
| G20-18               | Interior Door   | Interior Door - Rimu. Prep and Polyurethane   | 860W x 2100H                         | \$ 290.00   |    |       |          |    |       |           | \$ -         | \$ 290.00   |                            |                        |
| G20-19               | Ceiling         | Ceiling - Detailed Rimu with Vaulted Ceiling Rafters. Repair Water Damaged Sections, Reinstall and Polyurethane | 76m2<br>6700W x 11500L<br>x 6500 Tal | \$ 3,762.00 | hr | 90    | \$ 50.00 |    |       |           | \$ 4,500.00  | \$1,980.00  | \$ 10,242.00               | Water Damaged Sections |
| <b>G20 Sub-Total</b> |                 |   |                                      |             |    |       |          |    |       |           |              |             | \$ 43,232.00               |                        |
| G21-1                | Floor           | Floor - Red Wool Carpet Supply and Install  | 31m2                                 |             |    |       |          | m2 | 31    | \$ 115.00 | \$ 3,565.00  | \$ 3,565.00 |                            |                        |
| G21-2                | Wall Covering   | Wall Covering - Rimu Wall Panelling Reinstall and Polyurethane  | 33m2                                 | \$ 1,452.00 | hr | 132   | \$ 50.00 |    |       |           | \$ 6,600.00  | \$1,584.00  | \$ 9,636.00                |                        |
| G21-3                | Window          | Window - Leadlight x2. Prep and Polyurethane  | 1200W x 1600H                        | \$ 621.00   |    |       |          |    |       |           | \$ -         | \$ 621.00   |                            |                        |
| G21-4                | Window          | Window - Bay with Exterior Door, Leadlight to Top Only. Prep and Polyurethane                                   | 2800W x 2300H                        | \$ 1,043.00 |    |       |          |    |       |           | \$ -         | \$ 1,043.00 |                            |                        |
| G21-5                | Hearth          | Hearth - Brick  | 1070W x 400D                         |             |    |       |          |    |       |           | \$ -         | \$ -        | See Team Brick             |                        |
| G21-6                | Mantle          | Mantel - Rimu. Reinstall and Polyurethane   | 1450W x 1450H                        | \$ 207.00   | hr | 8     | \$ 50.00 |    |       |           | \$ 400.00    | \$150.00    | \$ 757.00                  |                        |
| G21-7                | Fireplace       | Fireplace - Gas. Reinstal   | 750W x 300D                          |             | hr | 8     | \$ 50.00 |    |       |           | \$ 400.00    | \$250.00    | \$ 650.00                  |                        |
| G21-8                | Interior Door   | Interior Door - Rimu. Prep and Polyurethane   | 860W x 2100H                         | \$ 290.00   |    |       |          |    |       |           | \$ -         | \$ 290.00   |                            |                        |
| G21-9                | Wall Covering   | Wall Covering - Brick and Timber  | 62m2                                 |             |    |       |          |    |       |           | \$ -         | \$ -        | Covered under Wall Framing |                        |
| G21-10               | Wall Covering   | Wall Covering - Wallpaper, Painted. Supply Gib, Stopping and Pain   | 27m2                                 |             |    |       |          | m2 | 27    | \$ 75.00  | \$ 2,025.00  | \$ 2,025.00 |                            |                        |
| G21-11               | Ceiling         | Ceiling - Supply and Install Gib, Stopping and Pain!  | 31m2                                 |             |    |       |          | m2 | 31.00 | \$ 75.00  | \$ 2,325.00  | \$ 2,325.00 |                            |                        |
| <b>G21 Sub-Total</b> |                 |   |                                      |             |    |       |          |    |       |           |              |             | \$ 20,912.00               |                        |
| G22-1                | Floor           | Floor - Red Wool Carpet Supply and Install  | 63m2                                 |             |    |       |          | m2 | 63    | \$ 115.00 | \$ 7,245.00  | \$ 7,245.00 |                            |                        |
| G22-2                | Skirting        | Skirting - Bevelled, Painted Mdf 230H. Supply and Instal  | 22m                                  |             |    |       |          | m  | 22    | \$ 45.00  | \$ 990.00    | \$ 990.00   |                            |                        |
| G22-3                | Feature Joinery | Feature Joinery - Post & Beam Detailing. Reinstall and Polyurethane   | 40m                                  | \$ 1,980.00 | hr | 54    | \$ 50.00 |    |       |           | \$ 2,700.00  | \$2,160.00  | \$ 6,840.00                |                        |
| G22-4                | Picture Rail    | Picture Rail - Double Moulded 150mm. Reinstall, Prep and Pain!  | 22m                                  |             |    |       |          | m  | 22    | \$ 50.00  | \$ 1,100.00  | \$ 1,100.00 |                            |                        |
| G22-5                | Interior Door   | Interior Door - Panelled, Painted. Prep and Pain!   | 1000W x 2000H                        | \$ 290.00   |    |       |          |    |       |           | \$ -         | \$ 290.00   |                            |                        |
| G22-6                | Interior Door   | Interior Door - Panelled, 1/2 Painted and 1/2 Varnish. Prep and Varnish/Pain!                                   | 910W x 2000H                         | \$ 290.00   |    |       |          |    |       |           | \$ -         | \$ 290.00   |                            |                        |
| G22-7                | Fire Surround   | Fire Surround - Rimu, Painted. Reinstall, Prep and Pain!  | 3400W x 2200H                        | \$ 342.00   | hr | 20    | \$ 50.00 |    |       |           | \$ 1,000.00  | \$350.00    | \$ 1,692.00                |                        |
| G22-8                | Hearth          | Hearth - Small Brick  | 2800W x 500D                         |             |    |       |          |    |       |           | \$ -         | \$ -        | See Team Brick             |                        |
| G22-9                | Fireplace       | Fireplace - Gas. Reinstal   | 1040W x 470D                         |             | hr | 8     | \$ 50.00 |    |       |           | \$ 400.00    | \$250.00    | \$ 650.00                  |                        |
| G22-10               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        | See Team Brick             |                        |
| G22-11               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        | See Team Brick             |                        |
| G22-12               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        | See Team Brick             |                        |
| G22-13               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        | See Team Brick             |                        |
| G22-14               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        | Rotten                     |                        |
| G22-15               |                 |   |                                      |             |    |       |          |    |       |           | \$ -         | \$ -        |                            |                        |
| G22-16               | Cornice         | Cornice - Rimu, Painted. Repair where Required, Reinstall, Prep and Paint                                       | 74m x 120H                           |             |    |       |          | m  | 74    | \$ 45.00  | \$ 3,330.00  | \$ 3,330.00 |                            |                        |



|                      |               |   |   |             |    |    |          |    |       |           |             |            |             |                                |  |
|----------------------|---------------|---|---|-------------|----|----|----------|----|-------|-----------|-------------|------------|-------------|--------------------------------|--|
| F02-10               | Floor         | Floor - Black Stone Tile. Supply and Install including Tile Underlay  | 2.1m2                                     |             |    |    |          | m2 | 2     | \$ 305.00 | \$ 640.50   |            | \$ 640.50   | Shower Room                    |  |
| F02-11               | Waste         | Waste - Floor & Shower. Supply and Install  | Two                                       | \$ 684.00   |    |    |          |    |       |           | \$ -        |            | \$ 684.00   |                                |  |
| F02-12               | Vanity        | Vanity - Corner Wall Hung with Taps. Reinstall Vanity and Replace Taps  | 350 x 350                                 | \$ 550.00   |    |    |          |    |       |           | \$ -        |            | \$ 550.00   |                                |  |
| F02-13               | Wall Covering | Wall Covering - Black Stone Tile. Supply and Install  | 15m2                                      |             |    |    |          | m2 | 15    | \$ 250.00 | \$ 3,750.00 |            | \$ 3,750.00 |                                |  |
| F02-14               | Wall Covering | Wall Covering - Supply and Install Gib, Stopping and Paintinc   | 15m2                                      |             |    |    |          | m2 | 15    | \$ 75.00  | \$ 1,125.00 |            | \$ 1,125.00 |                                |  |
| F02-15               | Ceiling       | Ceiling - Supply and Install Gib, Stopping and Pain!  | 2m2                                       |             |    |    |          | m2 | 2     | \$ 75.00  | \$ 150.00   |            | \$ 150.00   |                                |  |
| F02-16               | Shower Mixer  | Shower Mixer - Supply and Instal  | One                                       | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                |  |
| F02-17               | Shower Slide  | Shower Slide - Supply and Instal  | One                                       | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                |  |
| <b>F02 Sub-Total</b> |               |   |   |             |    |    |          |    |       |           |             |            |             |                                |  |
| F03-1                | Floor         | Floor - Tiled with Mosaic Detail. Supply and Install Winkleman including Tile Underlay, Waterproofing and Underfloor Heating      | 8m2                                       |             |    |    |          | m2 | 8     | \$ 505.00 | \$ 4,040.00 |            | \$ 4,040.00 |                                |  |
| F03-2                | Wall Covering | Wall Covering - Tiled with Mosaic Detail. Supply and Install Winkleman  | 17m2 1400H                                |             |    |    |          | m2 | 17    | \$ 395.00 | \$ 6,715.00 |            | \$ 6,715.00 |                                |  |
| F03-3                | Wall Covering | Wall Covering - Supply and Install Gib, Stopping and Pain!  | 32m2                                      |             |    |    |          | m2 | 32    | \$ 75.00  | \$ 2,400.00 |            | \$ 2,400.00 |                                |  |
| F03-4                | Interior Door | Interior Door. Supply and Install, Prep and Pain!   | 810W x 2100H                              | \$ 290.00   | hr | 4  | \$ 50.00 |    |       |           | \$ 200.00   | \$1,250.00 | \$ 1,740.00 | Door Missing                   |  |
| F03-5                | Bidet         | Bidet - Antique Marble. Reinstal  | One                                       | \$ 390.00   |    |    |          |    |       |           | \$ -        |            | \$ 390.00   |                                |  |
| F03-6                | Bath & Shower | Bath & Shower - Antique Shower Over 'Twyfords' Freestanding Bath, Popup Waste. Reinstall  | One                                       | \$ 390.00   | hr | 2  | \$ 50.00 |    |       |           | \$ 100.00   |            | \$ 490.00   |                                |  |
| F03-7                | Window        | Window - Leadlight. Prep and Pain!  | 1100W x 1500H                             | \$ 267.00   |    |    |          |    |       |           | \$ -        |            | \$ 267.00   |                                |  |
| F03-8                | Ceiling       | Ceiling - Supply and Install Gib, Stopping and Pain!  | 8m2                                       |             |    |    |          | m2 | 8     | \$ 75.00  | \$ 600.00   |            | \$ 600.00   |                                |  |
| F03-9                | Light Fitting | Light Fitting - Marble/Stone Wal  | Five 350W                                 |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Electrical Below           |  |
| F03-10               | Hand Rail     | Hand Rail - Reinstal  | 950W                                      |             | hr | 2  | \$ 50.00 |    |       |           | \$ 100.00   | \$25.00    | \$ 125.00   |                                |  |
| <b>F03 Sub-Total</b> |               |   |   |             |    |    |          |    |       |           |             |            |             |                                |  |
| F04-1                | Floor         | Floor - Black Tiles with Marble Border. Supply and Install New Tiles including Tile Backing, Waterproofing and Underfloor Heating | 8.6m2                                     |             |    |    |          | m2 | 9     | \$ 435.00 | \$ 3,741.00 |            | \$ 3,741.00 |                                |  |
| F04-2                | Vanity        | Vanity - With Four Mirrors, Wall Panelling and Joinery on top of Vanity, Black Stone Top. Reinstall Vanity and Install New Taps   | Vanity 2300L x 530D Joinery 4200L x 1500H | \$ 300.00   | hr | 12 | \$ 50.00 |    |       |           | \$ 600.00   | \$600.00   | \$ 1,500.00 |                                |  |
| F04-3                | Bath          | Bath - Built-in 'Clearlife' Spa. Reinstall  | One                                       | \$ 450.00   | hr | 2  | \$ 50.00 |    |       |           | \$ 100.00   | \$100.00   | \$ 650.00   |                                |  |
| F04-4                | Bath Surround | Bath Surround - Built-in Stone Edge, Painted Detail to Base, Stone Step. Reinstall, Prep and Pain!                                | 1300W x 630H x 2000L                      | \$ 250.00   | hr | 14 | \$ 50.00 |    |       |           | \$ 700.00   | \$200.00   | \$ 1,150.00 |                                |  |
| F04-5                | Accessories   | Accessories - 10 Bar Towel Rail. Supply and Install New   | One                                       |             | hr | 4  | \$ 50.00 |    |       |           | \$ 200.00   | \$380.00   | \$ 580.00   | Rusted                         |  |
| F04-6                | Toilet        | Toilet - Heritage Style Freestanding. Supply and Install New  | One                                       | \$ 1,100.00 |    |    |          |    |       |           | \$ -        |            | \$ 1,100.00 |                                |  |
| F04-7                | Shower Glass  | Shower Glass - Two Sided Enclosure. Supply and Install Nev  | 1100W x 1150W x 2000H                     | \$ 1,900.00 |    |    |          |    |       |           | \$ -        |            | \$ 1,900.00 |                                |  |
| F04-8                | Wall Covering | Wall Covering - Tan Tile to Ceiling. Supply and Install   | 26m2                                      |             |    |    |          | m2 | 26    | \$ 200.00 | \$ 5,200.00 |            | \$ 5,200.00 |                                |  |
| F04-9                | Wall Covering | Wall Covering - Hardies Villaboarc  | 31.2m2                                    |             |    |    |          | m2 | 31.20 | \$ 75.00  | \$ 2,340.00 |            | \$ 2,340.00 |                                |  |
| F04-10               | Ceiling       | Ceiling - Supply and Install Gib, Stopping and Pain!  | 11.7m2                                    |             |    |    |          | m2 | 11.70 | \$ 75.00  | \$ 877.50   |            | \$ 877.50   |                                |  |
| F04-11               | Bath Mixer    | Bath Mixer  | One                                       | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                |  |
| F04-12               | Waste         | Floor & Shower Waste - Supply & Install   | Two                                       | \$ 684.00   |    |    |          |    |       |           | \$ -        |            | \$ 684.00   |                                |  |
| F04-13               | Shower Mixer  | Shower Mixer  | One                                       | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                |  |
| F04-14               | Shower Slide  | Shower Slide  | One                                       | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                |  |
| F04-15               | Interior Door | Interior Door - Prep and Pain   | One                                       | \$ 390.00   |    |    |          |    |       |           | \$ -        |            | \$ 390.00   |                                |  |
| <b>F04 Sub-Total</b> |               |   |   |             |    |    |          |    |       |           |             |            |             |                                |  |
| F05-1                | Floor         | Floor - Red Wool Carpet Supply and Install  | 18.3m2                                    |             |    |    |          | m2 | 18.30 | \$ 115.00 | \$ 2,104.50 |            | \$ 2,104.50 |                                |  |
| F05-2                | Skirting      | Skirting - Painted Mdf 230H Supply and Install  | 25.5m                                     |             |    |    |          | m  | 25.50 | \$ 45.00  | \$ 1,147.50 |            | \$ 1,147.50 |                                |  |
| F05-3                | Interior Door | Interior Door - Rimu Panelled 1/2 Paint and 1/2 Varnish (x2) Replace Missing Door, Prep and Varnish/Pain!                         | 810W x 2100H                              | \$ 580.00   | hr | 4  | \$ 50.00 |    |       |           | \$ 200.00   | \$1,250.00 | \$ 2,030.00 | One Door Missing               |  |
| F05-4                |               |   |   |             |    |    |          |    |       |           |             |            | \$ -        |                                |  |
| F05-5                |               |   |   |             |    |    |          |    |       |           |             |            | \$ -        |                                |  |
| F05-6                |               |   |   |             |    |    |          |    |       |           |             |            | \$ -        |                                |  |
| F05-7                |               |   |   |             |    |    |          |    |       |           |             |            | \$ -        |                                |  |
| F05-8                | Wall Covering | Wall Covering - Supply and Install Gib, Stopping and Pain!  | 61.8m2                                    |             |    |    |          | m2 | 61.80 | \$ 75.00  | \$ 4,635.00 |            | \$ 4,635.00 |                                |  |
| F05-9                | Window        | Window - Curved Leadlight Bay Window with Two Cushions. Prep, Paint and Replace Upholster   | 1700W x 1700H x 550D                      | \$ 468.00   |    |    |          |    |       |           | \$ -        | \$1,300.00 | \$ 1,768.00 |                                |  |
| F05-10               | Window        | Window - Leadlight, 2 Sashes. Prep and Paint  | 1200W x 1300H                             | \$ 252.00   |    |    |          |    |       |           | \$ -        |            | \$ 252.00   |                                |  |
| F05-11               | Ceiling       | Ceiling - Gib over Lath & Plaster Supply and Install Gib, Stopping and Paint  | 18.3m2                                    |             |    |    |          | m2 | 18.30 | \$ 75.00  | \$ 1,372.50 |            | \$ 1,372.50 |                                |  |
| F05-12               | Shelving      | Shelving - Built-in Corner Wardrobe, Painted, 5 Shelf. Reinstall, Prep and Paint  | 1000W x 1000W                             | \$ 162.00   | hr | 8  | \$ 50.00 |    |       |           | \$ 400.00   | \$200.00   | \$ 762.00   |                                |  |
| F05-13               | Boards        | Boards - First Floor Main Switchboard and Cbus Cabine   |   |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Electrical Below           |  |
| F05-14               | Light Fitting | Light Fitting   | Three                                     |             |    |    |          |    |       |           | \$ -        |            | \$ -        | Missing - See Electrical Below |  |
| <b>F05 Sub-Total</b> |               |   |   |             |    |    |          |    |       |           |             |            |             |                                |  |
| F06-1                | Floor         | Floor - Black Tiles with Marble Border. Supply and Install New Tiles including Tile Backing, Waterproofing and Underfloor Heating | 9m2                                       |             |    |    |          | m2 | 9     | \$ 435.00 | \$ 3,915.00 |            | \$ 3,915.00 |                                |  |
| F06-2                | Waste         | Waste - 1x Floor and 1x Shower. Supply and Install New  | Two                                       | \$ 760.00   |    |    |          |    |       |           | \$ -        |            | \$ 760.00   |                                |  |
| F06-3                | Vanity        | Vanity - Over-head Detailed Mirror and Black Stone Top. Reinstall Vanity and Replace Taps   | 1500W x 500D                              | \$ 270.00   | hr | 12 | \$ 50.00 |    |       |           | \$ 600.00   | \$780.00   | \$ 1,650.00 |                                |  |
| F06-4                | Accessories   | Accessories - 10 Bar Towel Rail. Reinstall  | One                                       |             |    |    |          | no | 1     | \$ 75.00  | \$ 75.00    |            | \$ 75.00    |                                |  |
| F06-5                | Toilet        | Toilet - Colonial Style. Supply and Install New   | One                                       | \$ 1,100.00 |    |    |          |    |       |           | \$ -        |            | \$ 1,100.00 |                                |  |
| F06-6                | Shower Glass  | Shower Glass - Two Sided, Sloped to Ceiling. Supply and Install   | 1080W x 1300W x 2539H                     | \$ 1,900.00 |    |    |          |    |       |           | \$ -        |            | \$ 1,900.00 |                                |  |
| F06-7                | Shower Mixer  | Shower Mixer - Supply and Instal  | One                                       | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                |  |
| F06-8                | Shower Slide  | Shower Slide - Supply and Instal  | One                                       | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                |  |
| F06-9                | Interior Door | Interior Door - Rimu Panelled, Painted. Prep and Pain!  | 810W x 2100H                              | \$ 290.00   |    |    |          |    |       |           | \$ -        |            | \$ 290.00   |                                |  |
| F06-10               | Wall Covering | Wall Covering - Tan Tile to All Walls Supply and Install  | 38m2                                      |             |    |    |          | m2 | 38    | \$ 200.00 | \$ 7,600.00 |            | \$ 7,600.00 |                                |  |
| F06-11               | Wall Covering | Wall Covering - Hardies Villaboarc  | 38m2                                      |             |    |    |          | m2 | 38    | \$ 75.00  | \$ 2,850.00 |            | \$ 2,850.00 |                                |  |
| F06-12               | Window        | Window - Leadlight, 2 Pane. Prep and Paint  | 1200W x 1300H                             | \$ 252.00   |    |    |          |    |       |           | \$ -        |            | \$ 252.00   |                                |  |
| F06-13               | Ceiling       | Ceiling - Supply and Install Gib, Stopping and Pain!  | 11.5m2                                    |             |    |    |          | m2 | 11.50 | \$ 75.00  | \$ 862.50   |            | \$ 862.50   |                                |  |
| F06-14               | Light Fitting | Light Fitting   | Four                                      |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Electrical Below           |  |
| <b>F06 Sub-Total</b> |               |   |   |             |    |    |          |    |       |           |             |            |             |                                |  |
| F07-1                | Floor         | Floor - Red Wool Carpet Supply and Install  | 32m2                                      |             |    |    |          | m2 | 32    | \$ 115.00 | \$ 3,680.00 |            | \$ 3,680.00 |                                |  |
| F07-2                | Skirting      | Skirting - Painted Mdf 230H Supply and Install  | 29m                                       |             |    |    |          | m  | 29    | \$ 45.00  | \$ 1,305.00 |            | \$ 1,305.00 |                                |  |

|                      |                    |   |                                   |             |    |    |          |    |       |           |             |            |             |                                       |
|----------------------|--------------------|---|-----------------------------------|-------------|----|----|----------|----|-------|-----------|-------------|------------|-------------|---------------------------------------|
| F07-3                | Interior Door      | Interior Door - Supply and Install New Door, Prep and Paint   | 810W x 2100H                      | \$ 290.00   | hr | 4  | \$ 50.00 |    |       |           | \$ 200.00   | \$1,250.00 | \$ 1,740.00 | Door Missing                          |
| F07-4                | Interior Door      | Interior Door - Rimu French Doors to Wardrobe, Painted, Prep and Paint  | 1250W x 2000H                     | \$ 580.00   |    |    |          |    |       |           | \$ -        |            | \$ 580.00   |                                       |
| F07-5                | Window             | Window - Leadlight, 4 Pane. Prep and Paint  | 2550W x 1270H                     | \$ 523.00   |    |    |          |    |       |           | \$ -        |            | \$ 523.00   |                                       |
| F07-6                | Window             | Window - Leadlight, 2 Pane. Prep and Paint  | 700W x 1800H                      | \$ 203.00   |    |    |          |    |       |           | \$ -        |            | \$ 203.00   |                                       |
| F07-7                | Wall Covering      | Wall Covering - Supply and Install Gib, Stopping and Paint  | 62m2                              |             |    |    |          | m2 | 62    | \$ 75.00  | \$ 4,650.00 |            | \$ 4,650.00 |                                       |
| F07-8                | Ceiling            | Ceiling - Supply and Install Gib, Stopping and Paint  | 32m2                              |             |    |    |          | m2 | 32    | \$ 75.00  | \$ 2,400.00 |            | \$ 2,400.00 |                                       |
| F07-9                | Fire Hose Reel     | Fire Hose Reel  | One                               |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Fire Below                        |
| <b>F07 Sub-Total</b> |                    |   |                                   |             |    |    |          |    |       |           |             |            |             | <b>\$ 15,081.00</b>                   |
| F08-1                | Floor              | Floor - Red Wool Carpet Supply and Install  | 30.2m2                            |             |    |    |          | m2 | 30.20 | \$ 115.00 | \$ 3,473.00 |            | \$ 3,473.00 |                                       |
| F08-2                | Skirting           | Skirting - Painted Mdf 230H Supply and Instal   | 25m                               |             |    |    |          | m  | 25    | \$ 45.00  | \$ 1,125.00 |            | \$ 1,125.00 |                                       |
| F08-3                | Window             | Window - Leadlight, 1 Pane. Prep and Paint  | 750W x 600H                       | \$ 81.00    |    |    |          |    |       |           | \$ -        |            | \$ 81.00    |                                       |
| F08-4                | Window             | Window - Leadlight, 3 Pane. Prep and Paint  | 1600W x 1100H                     | \$ 284.00   |    |    |          |    |       |           | \$ -        |            | \$ 284.00   |                                       |
| F08-5                | Window             | Window - Leadlight, 4 Pane. Prep and Paint  | 1500W x 1750H                     | \$ 424.00   |    |    |          |    |       |           | \$ -        |            | \$ 424.00   |                                       |
| F08-6                |                    |   |                                   |             |    |    |          |    |       |           | \$ -        |            | \$ -        |                                       |
| F08-7                |                    |   |                                   |             |    |    |          |    |       |           | \$ -        |            | \$ -        |                                       |
| F08-8                |                    |   |                                   |             |    |    |          |    |       |           | \$ -        |            | \$ -        |                                       |
| F08-9                |                    |   |                                   |             |    |    |          |    |       |           | \$ -        |            | \$ -        |                                       |
| F08-10               | Wall Covering      | Wall Covering - Supply and Install Gib, Stopping and Paint  | 61.5m2                            |             |    |    |          | m2 | 61.50 | \$ 75.00  | \$ 4,612.50 |            | \$ 4,612.50 |                                       |
| F08-11               | Interior Door      | Interior Door - Rimu Panelled 1/2 Paint and 1/2 Varnish (x2), Brass Vent to Base. Prep and Varnish/Pain                           |                                   | \$ 290.00   |    |    |          |    |       |           | \$ -        |            | \$ 290.00   |                                       |
| F08-12               | Ceiling            | Ceiling - Supply and Install Gib, Stopping and Paint  | 30.2m2                            |             |    |    |          | m2 | 30.20 | \$ 75.00  | \$ 2,265.00 |            | \$ 2,265.00 |                                       |
| F08-13               | Light Fitting      | Light Fitting   | Six                               |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Electrical Below                  |
| <b>F08 Sub-Total</b> |                    |   |                                   |             |    |    |          |    |       |           |             |            |             | <b>\$ 12,554.50</b>                   |
| F09-1                | Floor              | Floor - Red Wool Carpet Supply and Install  | 52m2                              |             |    |    |          | m2 | 52    | \$ 115.00 | \$ 5,980.00 |            | \$ 5,980.00 |                                       |
| F09-2                | Skirting           | Skirting - Painted Mdf 230H Supply and Instal   | 45m                               |             |    |    |          | m  | 45    | \$ 45.00  | \$ 2,025.00 |            | \$ 2,025.00 |                                       |
| F09-3                |                    |   |                                   |             |    |    |          |    |       |           | \$ -        |            | \$ -        | Note: Brick, Covered under Team Brick |
| F09-4                |                    |   |                                   |             |    |    |          |    |       |           | \$ -        |            | \$ -        |                                       |
| F09-5                |                    |   |                                   |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Team Brick                        |
| F09-6                |                    |   |                                   |             |    |    |          |    |       |           | \$ -        |            | \$ -        |                                       |
| F09-7                | Window             | Window - Leadlight, 2 Pane. Prep and Paint  | 700W x 1600H                      | \$ 180.00   |    |    |          |    |       |           | \$ -        |            | \$ 180.00   |                                       |
| F09-8                | Window             | Window - Leadlight, 2 Pane. Prep and Paint  | 700W x 1600H                      | \$ 180.00   |    |    |          |    |       |           | \$ -        |            | \$ 180.00   |                                       |
| F09-9                | Window             | Window - Leadlight, 2 Sashes. Prep and Paint  | 1200W x 1050H                     | \$ 204.00   |    |    |          |    |       |           | \$ -        |            | \$ 204.00   |                                       |
| F09-10               | Window             | Window - Leadlight, 2 Sashes. Prep and Paint  | 1400W x 1400H                     | \$ 316.00   |    |    |          |    |       |           | \$ -        |            | \$ 316.00   |                                       |
| F09-11               | Window             | Window - Curved Bay Window, 8 Pane, Mullions. Prep, Paint, Replace Upholstery Cushion   | 2700W x 1600H x 600D              | \$ 699.00   |    |    |          |    |       |           | \$ -        | \$1,500.00 | \$ 2,199.00 | Not Leadlight                         |
| F09-12               | Shelving           | Shelving - Simple L Shape, Painted with Rail. Reinstall, Prep and Pain  | 2000W x 1500W x 400D              | \$ 72.00    | hr | 4  | \$ 50.00 |    |       |           | \$ 200.00   | \$100.00   | \$ 372.00   |                                       |
| F09-13               | Wall Covering      | Wall Covering - Supply and Install Gib, Stopping and Pain   | 90m2                              |             |    |    |          | m2 | 90    | \$ 75.00  | \$ 6,750.00 |            | \$ 6,750.00 |                                       |
| F09-14               | Interior Door      | Interior Door - Rimu Panelled, 1/2 Paint and 1/2 Varnish, Brass Bottom Vent. Prep and Varnish/Pain                                | 870W x 2100H                      | \$ 290.00   |    |    |          |    |       |           | \$ -        |            | \$ 290.00   |                                       |
| F09-15               | Ceiling            | Ceiling - Supply and Install Gib, Stopping and Paint  | 52m2                              |             |    |    |          | m2 | 52    | \$ 75.00  | \$ 3,900.00 |            | \$ 3,900.00 |                                       |
| F09-16               | Light Fitting      | Light Fitting   | Ten                               |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Electrical Below                  |
| <b>F09 Sub-Total</b> |                    |   |                                   |             |    |    |          |    |       |           |             |            |             | <b>\$ 22,396.00</b>                   |
| F10-1                | Floor              | Floor - Black Tiles with Marble Border. Supply and Install New Tiles including Tile Backing, Waterproofing and Underfloor Heating | 8m2                               |             |    |    |          | m2 | 8     | \$ 435.00 | \$ 3,480.00 |            | \$ 3,480.00 |                                       |
| F10-2                | Floor              | Floor - Tiled Shower Base and Waste. Supply and Instal  | 3m2                               | \$ 630.00   |    |    |          |    |       |           | \$ -        |            | \$ 630.00   |                                       |
| F10-3                | Vanity             | Vanity - Double with Wall Unit, Reinstall Vanity and Replace Tap  | 1700W x 2300H                     | \$ 300.00   | hr | 12 | \$ 50.00 |    |       |           | \$ 600.00   | \$780.00   | \$ 1,680.00 |                                       |
| F10-4                | Bath               | Bath - Double Spa. Reinstal   | 1100W x 1800L                     | \$ 450.00   | hr | 2  | \$ 50.00 |    |       |           | \$ 100.00   | \$120.00   | \$ 670.00   |                                       |
| F10-5                | Bath Surround      | Bath Surround - Stone, Painted Joinery to Ceiling, 4 Inset Mirrors, 6 Inset Lights, Painted Panels. Reinstall, Prep and Pain      | 2700W x 2300H x 1400D             | \$ 250.00   | hr | 18 | \$ 50.00 |    |       |           | \$ 900.00   | \$850.00   | \$ 2,000.00 |                                       |
| F10-6                | Shower Glass       | Shower Glass - L Shape Glass Partition and Glass Door. Supply and Instal  | Partition 1300W Door 860W x 2300H | \$ 1,900.00 | hr | 2  | \$ 50.00 |    |       |           | \$ 100.00   |            | \$ 2,000.00 |                                       |
| F10-7                | Accessories        | Accessories - 10 Bar Towel Rail. Reinstall  | One                               |             |    |    |          | no | 1     | \$ 75.00  | \$ 75.00    |            | \$ 75.00    |                                       |
| F10-8                | Interior Door      | Interior Door - Rimu Panelled, Painted. Prep and Paint  | 860W x 2100H                      | \$ 290.00   |    |    |          |    |       |           | \$ -        |            | \$ 290.00   |                                       |
| F10-9                | Walls & Ceiling    | Walls & Ceiling - Tan Tiles to Shower Area  | 34m2                              |             |    |    |          | m2 | 34    | \$ 200.00 | \$ 6,800.00 |            | \$ 6,800.00 |                                       |
| F10-10               | Wall Covering      | Wall Covering - Hardies Villaboarc  | 32m2                              |             |    |    |          | m2 | 32    | \$ 75.00  | \$ 2,400.00 |            | \$ 2,400.00 |                                       |
| F10-11               | Toilet             | Toilet - Heritage Freestanding. Supply and Instal   | One                               | \$ 1,100.00 |    |    |          |    |       |           | \$ -        |            | \$ 1,100.00 |                                       |
| F10-12               | Shower Mixer       | Shower Mixer  | Two                               | \$ 320.00   |    |    |          |    |       |           | \$ -        | \$780.00   | \$ 1,100.00 |                                       |
| F10-13               | Shower Slide       | Shower Slide  | One                               | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                       |
| F10-14               | Shower O/Head Rose | Shower O/Head Rose  | One                               | \$ 160.00   |    |    |          |    |       |           | \$ -        | \$390.00   | \$ 550.00   |                                       |
| F10-15               | Extraction Fan     | Extraction Fan  | One                               |             |    |    |          |    |       |           | \$ -        | \$ -       | \$ -        | See Electrical Below                  |
| F10-16               | Light Fitting      | Light Fitting   | One                               |             |    |    |          |    |       |           | \$ -        | \$ -       | \$ -        | See Electrical Below                  |
| F10-17               | Ceiling            | Ceiling - Supply and Install Gib, Stopping and Pain   | 11m2                              |             |    |    |          | m2 | 11    | \$ 75.00  | \$ 825.00   |            | \$ 825.00   |                                       |
| <b>F10 Sub-Total</b> |                    |   |                                   |             |    |    |          |    |       |           |             |            |             | <b>\$ 24,150.00</b>                   |
| F11-1                | Floor              | Floor - Red Wool Carpet Supply and Install  | 22m2                              |             |    |    |          | m2 | 22    | \$ 115.00 | \$ 2,530.00 |            | \$ 2,530.00 |                                       |
| F11-2                | Wall Covering      | Wall Covering - Rimu Wall Panelling Reinstall and Polyurethane  | 13.5m2 900H                       | \$ 593.00   | hr | 53 | \$ 50.00 |    |       |           | \$ 2,650.00 | \$648.00   | \$ 3,891.00 |                                       |
| F11-3                | Wall Covering      | Wall Covering - Supply and Install Gib, Stopping and Paint  | 50m2                              |             |    |    |          | m2 | 50    | \$ 75.00  | \$ 3,750.00 |            | \$ 3,750.00 | Includes Cupboard                     |
| F11-4                | Interior Door      | Interior Door - Rimu Door to Cupboard, 1/2 Paint and 1/2 Varnish. Prep and Varnish/Pain   | 520W x 1850H                      | \$ 290.00   |    |    |          |    |       |           | \$ -        |            | \$ 290.00   |                                       |
| F11-5                | Shelving           | Shelving - L Shaped to Cupboard, Painted. Reinstall, Prep and Pain  | 1300W x 900W x300D                | \$ 198.00   | hr | 8  | \$ 50.00 |    |       |           | \$ 400.00   | \$120.00   | \$ 718.00   |                                       |
| F11-6                | Ceiling            | Ceiling - Supply and Install Gib, Stopping and Paint  | 22m2                              |             |    |    |          | m2 | 22    | \$ 75.00  | \$ 1,650.00 |            | \$ 1,650.00 |                                       |
| F11-7                | Ceiling            | Ceiling - Rimu Detailed Moulding. Reinstall and Polyurethane  | 56m                               |             |    |    |          | m  | 56    | \$ 50.00  | \$ 2,800.00 |            | \$ 2,800.00 |                                       |
| F11-8                | Light Fitting      | Light Fitting   | One                               |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Electrical Below                  |
| <b>F11 Sub-Total</b> |                    |   |                                   |             |    |    |          |    |       |           |             |            |             | <b>\$ 15,629.00</b>                   |
| F12-1                | Floor              | Floor - Red Wool Carpet Supply and Install  | 15.5m2                            |             |    |    |          | m2 | 15.50 | \$ 115.00 | \$ 1,782.50 |            | \$ 1,782.50 |                                       |
| F12-2                | Wall Covering      | Wall Covering - Rimu Wall Panelling Reinstall and Polyurethane  | 20m2 900H                         | \$ 880.00   | hr | 80 | \$ 50.00 |    |       |           | \$ 4,000.00 | \$960.00   | \$ 5,840.00 |                                       |
| F12-3                | Wall Covering      | Wall Covering - Supply and Install Gib, Stopping and Pain   | 65m2                              |             |    |    |          | m2 | 65    | \$ 75.00  | \$ 4,875.00 |            | \$ 4,875.00 |                                       |
| F12-4                | Feature Joinery    | Feature Joinery - Rimu Opening with 2x Corbells. Reinstall and Polyurethane   | 1200W x 2700H                     | \$ 144.00   | hr | 8  | \$ 50.00 |    |       |           | \$ 400.00   | \$80.00    | \$ 624.00   |                                       |
| F12-5                | Ceiling            | Ceiling - Supply and Install Gib, Stopping and Pain   | 15.5m2                            |             |    |    |          | m2 | 15.50 | \$ 75.00  | \$ 1,162.50 |            | \$ 1,162.50 |                                       |
| F12-6                | Light Fitting      | Light Fitting   | Three                             |             |    |    |          |    |       |           | \$ -        |            | \$ -        | See Electrical Below                  |







|                      |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |               |
|----------------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|---------------|
| Allowances Sub-Total |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | \$ 185,676.87 |
|----------------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|--|---------------|

Hours Total

13717

**APPENDIX C: 3380/003 R2 – BUDGET REPAIR ESTIMATE – HIN 194 –  
PORTSTONE, 471 FERRY ROAD, WOOLSTON, CHRISTCHURCH – 04  
AUGUST 2023**

(overleaf)

4 August 2023

Te Hononga Civic Offices  
53 Hereford Street  
CHRISTCHURCH 8013

Attn: Amanda Ohs (e: Amanda.ohs@ccc.govt.nz)

Dear Amanda

**3380/003 R2 – BUDGET REPAIR ESTIMATE – HIN 194 – PORTSTONE, 471 FERRY ROAD,  
WOOLSTON, CHRISTCHURCH**

Please find enclosed our revised budget repair estimate of **\$705,000 (seven hundred and five thousand dollars)** excluding GST for the works to the above-mentioned project as detailed below.

Please refer to the enclosed report which provides further detail on clarifications, exclusions and assumptions made.

Should you have any queries, please do not hesitate to contact the writer.

Yours faithfully



Gavin Stanley  
BSc QS NZIQS (Affil)  
Project Cost Consultant  
**Rhodes + Associates Limited**

## **EXECUTIVE SUMMARY**

Rhodes + Associates Limited have been appointed by Christchurch City Council, to provide a revised budget repair estimate in accordance with documentation supplied and listed. The Estimate is for the remedial works to 471 Ferry Road, Woolston.

With the design information provided Rhodes + Associates Limited have made assumptions on certain methods of construction and services.

This report has been prepared specifically for Christchurch City Council. Rhodes + Associates Limited accepts no liability in the event this report is used for any other purpose or by any other party.

## CLARIFICATIONS AND EXCLUSIONS

The costs presented in this report are our opinion of the likely updated construction costs associated with the remedial works to be carried out at 471 Ferry Road, Woolston.

This update is based upon Rhodes + Associates Limited original budget repair estimate dated 22 January 2014 (see Appendix A) and as such no allowance has been made for any further deterioration or additional works that may now be required to the building that may have occurred beyond that period.

### Documentation

- Dunning Thornton Consultants, drawings (see Appendix B)
  - 7296-00-A Ground Floor Plan
  - 7296-01-A Elevation A
  - 7296-02-A Elevation B
  - 7296-03-A Elevation C
  - 7296-04-A Elevation D
  - 7296-05-A Detail

### Procurement

- It has been assumed the market is competitive with no adjustment included for inflationary factors associated with a major event
- The works are to be negotiated with a fixed lump sum contract
- Estimated contract period – 6 months

### Clarifications

- No allowance has been made for works or associated costs carried out to date, Rhodes + Associates Limited's budget repair estimate only covers the remaining works required to complete the repairs from the documentation supplied
- Allowances have been made where delamination and bulging has occurred, no allowance has been made to correct the 20 mm out of plane tilt which occurs on the front elevation
- It has been assumed that the floor construction throughout is timber on piles and is to be levelled
- The roof is only stripped to permit access to the work areas only
- 6 mm Stainless steel flexible wire has been allowed to walls (see drawing 7296-05-A)

### Notable Provisional Sums

- See Section 2 for included Provisional Sums.

### Exclusions

- GST
- Removal of contaminated or noxious materials
- Removal and reinstatement of Tenant fit out
- Works to existing foundations
- Works to existing electrical distribution board
- Waterproofing membranes to walls

- Grouting stabilisation to external walls
- Works to existing gas fire
- Replacement of sanitary wear
- Services up-grade
- Fireproofing
- Loose whiteware
- External works including landscaping
- Prolongation costs beyond the stated programme
- Escalation
- Fluctuations in the exchange rate
- Loss of income, relocation and disruption costs for the period of construction
- Finance costs
- Holding costs including rates, taxes and related outgoings
- Effects of a pandemic/war



22 January 2014

Gareth Wright  
Heritage Response Team – Strategy and Planning Group  
53 Hereford Street  
CHRISTCHURCH

Dear Gareth

**PORTSTONE, 471 FERRY ROAD, WOOLSTON, CHRISTCHURCH**

Please find enclosed our Budget Repair Estimate for the anticipated Repairs to the above for a total amount of **\$577,000.00** (Five Hundred and Seventy Seven Thousand Dollars) excluding GST, as per the clarifications and exclusions included within the document. Please refer to enclosed report which provides further detail on the assumptions made.

Should you have any queries, please do not hesitate to contact the writer.

Yours faithfully



Gavin Stanley BSc QS, NZIQS (Affil)  
Project Cost Consultant  
**Rhodes & Associates Limited**





Portstone, 471 Ferry Road, Woolston, Christchurch

Budget Repair Estimate

January 2014

**EXECUTIVE SUMMARY**

Rhodes & Associates Limited have been appointed by Gareth Wright of The Christchurch City Council to provide a Budget Repair Estimate for the repair works to Portstone, 471 Ferry Road, Woolston, Christchurch. The estimate has been based on documentation provided by Dunning Thornton Consultants, site visits and photographs.

As this is a Budget Repair Estimate Rhodes & Associates Limited have made certain assumptions on the services and the extent of repairs taking into account their experience on these types of works. This could however change should there be additional works discovered once the construction has commenced.

**Budget Repair Estimate**

|  |                   |
|--|-------------------|
| Construction Cost                          | 418,471.00        |
| Off Site Overheads & Margins               | 41,848.00         |
| <b>Total Construction Cost</b>             | <b>460,319.00</b> |
| Design & Construction Contingency          | 46,032.00         |
| <b>Total Anticipated Construction Cost</b> | <b>506,351.00</b> |
| Professional Fees                          | 70,890.00         |
| <b>Total Budget Repair Estimate</b>        | <b>577,241.00</b> |

Excluding GST

## **CLARIFICATIONS & EXCLUSIONS**

### Procurement

- The works are to be negotiated
- Estimated contract period – 6 months

### Construction Clarifications

- No allowance has been made for works or associated costs carried out to date, Rhodes and Associates Limited's Budget Repair Estimate only covers the remaining works required to complete the repairs from the documentation supplied
- Allowances have been made where delamination and bulging has occurred, no allowance has been made to correct the 20mm out of plane tilt which occurs on the front elevation
- It has been assumed that the floor construction throughout is timber on piles and is to be levelled
- The roof is only stripped to permit access to the work areas only
- 6mm Stainless steel flexible wire has been allowed to walls (see drawing 7296-05-A)

### Exclusions

- Removal and reinstatement of Tenant fit out
- Works to existing foundations
- Works to existing electrical distribution board
- Waterproofing membranes to walls
- Grouting stabilisation to external walls
- Works to existing gas fire
- Replacement of sanitary wear
- Services up-grade
- External works unless specifically mentioned
- Asbestos
- Escalation
- Fireproofing

**DOCUMENTATION**

Dunning Thornton Consultants, drawings

7296-00-A Ground Floor Plan

7296-01-A Elevation A

7296-02-A Elevation B

7296-03-A Elevation C

7296-04-A Elevation D

7296-05-A Detail

## Elemental Estimate Summary

**Project:** Christchurch City Council  
**Building:** Portstone, 471 Ferry Road

**Details:** Main Building

| No. | Description                                | Quantity | Unit | Total                    |
|-----|--|----------|------|--------------------------|
| 1   | Site Preparation                           |          |      | 10,440.00                |
| 2   | Substructure                               |          |      | 55,036.00                |
| 3   | Structural Walls                           |          |      | 3,990.00                 |
| 4   | Roof                                       |          |      | 10,065.00                |
| 5   | External Walls and Exterior Finish         |          |      | 112,490.00               |
| 6   | Windows and External Doors                 |          |      | 13,350.00                |
| 7   | Interior Walls                             |          |      | 40,580.00                |
| 8   | Interior Doors                             |          |      | 3,000.00                 |
| 9   | Floor Finishes                             |          |      | 8,550.00                 |
| 10  | Ceiling Finishes                           |          |      | 12,112.00                |
| 11  | Sanitary Plumbing                          |          |      | 1,500.00                 |
| 12  | Electrical Services                        |          |      | 8,900.00                 |
| 13  | External Works                             |          |      | 2,000.00                 |
| 14  | Preliminary & General                      |          |      | 136,458.00               |
|     | <b>Subtotal</b>                            |          |      | <b><u>418,471.00</u></b> |
| 15  | Off Site Overheads & Margins               | 10       | %    | 41,848.00                |
|     | <b>Total Construction Costs</b>            |          |      | <b><u>460,319.00</u></b> |
| 16  | Design & Construction Contingencies        | 10       | %    | 46,032.00                |
|     | <b>Total Anticipated Construction Cost</b> |          |      | <b><u>506,351.00</u></b> |
| 17  | Professional Fees                          | 14       | %    | 70,890.00                |
|     | <b>Total Budget Repair Estimate</b>        |          |      | <b><u>577,241.00</u></b> |

## Elemental Estimate

**Project:** Christchurch City Council  
**Building:** Portstone, 471 Ferry Road

**Details:** Main Building

| Ref                       | Description   | Qty | Unit | Rate     | Total    |
|---------------------------|---|-----|------|----------|----------|
| <b>1 Site Preparation</b> |   |     |      |          |          |
| 1.1                       | Allow for the removal of vegetation to allow for sufficient access to the works                             | 1   | Item | 1,400.00 | 1,400.00 |
| 1.2                       | Allow for an arborist to trim back trees to allow access to the works                                       | 1   | Item | 2,000.00 | 2,000.00 |
| 1.3                       | Allow for the demolition of a small reinforced block gas bottle store and the disposal of material off site | 1   | Item | 500.00   | 500.00   |
| 1.4                       | Allow for the removal of the existing timber structure abutting the building                                | 1   | Item | 1,200.00 | 1,200.00 |
| 1.5                       | Allow for the careful removal of the existing floor coverings dispose off site                              | 89  | m2   | 60.00    | 5,340.00 |

**10,440.00**

**2 Substructure**

|     |  |    |      |           |           |
|-----|--|----|------|-----------|-----------|
| 2.1 | 300dia x 2500mm deep augured piles (McMillan Drilling Group - Screw pile allowed)  | 1  | Item | 15,000.00 | 15,000.00 |
| 2.2 | 250 x 400dp tie foundation including all necessary excavation, reinforcement @ 140kg/m3, formwork  | 4  | m    | 130.00    | 520.00    |
| 2.3 | Carefully take up existing timber flooring, de-nail, clean, identify and label, place to one side for re-use, reinstate upon completion of new foundation and re-level. Allowing for minor repairs and nominal pads as required (Assumed same construction in toilet area) | 89 | m2   | 444.00    | 39,516.00 |

**55,036.00**

**3 Structural Walls**

|     |  |    |    |        |          |
|-----|--|----|----|--------|----------|
| 3.1 | Supply and install 200x600x600mm steel corner ties 10mm thick along bed on lime/cement dry-pack mortar bed with 2no 150mm diameter, 12mm thick steel wall tie pattress plates along with 60mm diameter, 8mm washer and double nuts for R16 tie bar | 3  | No | 415.00 | 1,245.00 |
| 3.2 | Supply and install 200mm diameter, 12mm steel pattress plate complete with 1no 150 diameter, 12mm thick washer and 60mm diameter, 8mm washer and double nuts for R16 tie bar   | 1  | No | 350.00 | 350.00   |
| 3.3 | Supply and install 100x100x12 ea steel plate including double nuts for R16 tie bar   | 1  | No | 250.00 | 250.00   |
| 3.4 | Supply and install steel tie bars 16 dia   | 39 | m  | 55.00  | 2,145.00 |

**3,990.00**

## Elemental Estimate

**Project:** Christchurch City Council  
**Building:** Portstone, 471 Ferry Road

**Details:** Main Building

| Ref           | Description  | Qty | Unit | Rate     | Total              |
|---------------|--|-----|------|----------|--------------------|
| <b>4 Roof</b> |  |     |      |          | <i>(Continued)</i> |
| 4.1           | Allow for the careful removal, cleaning and placing to one side for reuse of existing slate tiles to allow access to remedial works, reinstate tiling upon completion (Measured Flat)                  | 40  | m2   | 95.00    | 3,800.00           |
| 4.2           | Allowance for replacement tiles  | 1   | Item | 1,000.00 | 1,000.00           |
| 4.3           | Allow for the installation of timber support 70x45 fixed to joists with 14Gx100 screws. In addition allow the installation of blocking between joists with 4/8Gx65 screws through sarking at 900 ctrs. | 20  | m    | 117.00   | 2,340.00           |
| 4.4           | Allow for nailing 10Gx75 at ceiling joist/rafter to timber perimeter plate, also allow for 10Gx75 at 300 centres through timber sarking to existing beam   | 30  | m    | 30.00    | 900.00             |
| 4.5           | Allow for the removal of the existing rainwater goods to allow access to the works and re-instate upon completion  | 45  | m    | 45.00    | 2,025.00           |
|               |  |     |      |          | <b>10,065.00</b>   |

**5 External Walls and Exterior Finish**

|     |  |    |      |          |           |
|-----|--|----|------|----------|-----------|
| 5.1 | Allow for carefully raking out existing cement mortar joints internally and externally to stone wall to a depth of 30mm, clean joint and insert 6mm stainless steel wires. Drill and epoxy in place M10 stainless rods with retaining tabs, nuts and washers at regular intersections to retain wire. Upon completion re-point walls disturbed to match existing. (Allowance for 6mm flexible stainless steel wires) | 48 | m2   | 1,000.00 | 48,000.00 |
| 5.2 | Allow for temporary propping above stone lintels to allow for safe removal   | 1  | Item | 1,000.00 | 1,000.00  |
| 5.3 | Carefully take out stone lintels, remove excess mortar. Carefully chase back of lintel and allow for the supply and installation of steel tie rods saturated with an oil based preservative and epoxy in place (4 rods per lintel ) (5 no lintels)   | 9  | m    | 960.00   | 8,640.00  |
| 5.4 | Carefully drill stone mullions and insert 2 M10 S/S pins in 12mm dia dry-fit holes and attach to stone lintel  | 10 | No   | 260.00   | 2,600.00  |
| 5.5 | Allow for deconstruction, stabilization of stonework which has been displaced, make allowance for the reconstruction of the internal core where required, re-point upon completion to match existing (Provisional Quantity)  | 41 | m2   | 1,250.00 | 51,250.00 |

## Elemental Estimate

**Project:** Christchurch City Council  
**Building:** Portstone, 471 Ferry Road

**Details:** Main Building

| Ref | Description | Qty | Unit | Rate | Total |
|-----|-------------|-----|------|------|-------|
|-----|-------------|-----|------|------|-------|

### 5 External Walls and Exterior Finish

(Continued)

|     |  |   |      |          |          |
|-----|--|---|------|----------|----------|
| 5.6 | Allowance for replacement of damaged stone as required (Provisional Sum) | 1 | Item | 1,000.00 | 1,000.00 |
|-----|--|---|------|----------|----------|

**112,490.00**

### 6 Windows and External Doors

|     |   |   |      |          |          |
|-----|---|---|------|----------|----------|
| 6.1 | Allow provision for making good existing glazing as required  | 1 | Item | 500.00   | 500.00   |
| 6.2 | Allow for removing existing single doors, sanding down and refitting, including making good hardware and timber frame, redecorate and reinstate upon completion                 | 2 | No   | 1,250.00 | 2,500.00 |
| 6.3 | Allow for removing existing double doors, sanding down and refitting, including making good hardware and timber frame, redecorate and reinstate upon completion                 | 1 | No   | 1,750.00 | 1,750.00 |
| 6.4 | Allow for removing existing entrance door and surrounding frame to allow access by piling rig. Allow for re-instatement upon completion, including making good and redecoration | 1 | No   | 2,100.00 | 2,100.00 |
| 6.5 | Provision for replacement hardware as required  | 1 | Item | 1,000.00 | 1,000.00 |
| 6.6 | Allow for preservative treatment to timber lintels to external walls (Provisional Sum)  | 1 | Item | 500.00   | 500.00   |
| 6.7 | Allow for easing and adjusting existing windows, make good frames where necessary and redecorate upon completion (Provisional Sum)  | 1 | Item | 5,000.00 | 5,000.00 |

**13,350.00**

### 7 Interior Walls

|     |  |     |    |        |           |
|-----|--|-----|----|--------|-----------|
| 7.1 | Allow for the removal of solid plaster to the external wall, clean down and prepare. New solid plaster to walls. Allow for decoration on completion. (No allowance made for waterproofing membranes) | 120 | m2 | 215.00 | 25,800.00 |
| 7.2 | Allow for the complete removal of partition wall to allow access for the Piling rig and re-levelling of floor, replacement on completion   | 49  | m2 | 60.00  | 2,940.00  |
| 7.3 | Allow for the replacement of previously demolished partition walls, timber frame, insulated, gib and decoration  | 43  | m2 | 205.00 | 8,815.00  |
| 7.4 | Allow for the installation of new partition faced with 18mm plywood  | 11  | m2 | 275.00 | 3,025.00  |

**40,580.00**



## Elemental Estimate

**Project:** Christchurch City Council  
**Building:** Portstone, 471 Ferry Road

**Details:** Main Building

| Ref                                 | Description  | Qty | Unit | Rate      | Total              |
|-------------------------------------|--|-----|------|-----------|--------------------|
| <b>8 Interior Doors</b>             |  |     |      |           | <i>(Continued)</i> |
| 8.1                                 | Allow for removing existing doors and frames, make good, redecorate and reinstate upon completion  | 3   | No   | 1,000.00  | 3,000.00           |
|                                     |  |     |      |           | <b>3,000.00</b>    |
| <b>9 Floor Finishes</b>             |  |     |      |           |                    |
| 9.1                                 | Allow for the careful removal of existing timber skirtings, allow for temporary storage and repair where necessary and re-instate upon completion and redecorate | 95  | m    | 90.00     | 8,550.00           |
|                                     |  |     |      |           | <b>8,550.00</b>    |
| <b>10 Ceiling Finishes</b>          |  |     |      |           |                    |
| 10.1                                | Allow to strip out existing ceiling and replace with new Gib, make allowance for timber supports where required. Allow for decoration on completion              | 89  | m2   | 108.00    | 9,612.00           |
| 10.2                                | Allow for minor repairs, redecorate upon completion (Provisional Sum)  | 1   | Item | 2,500.00  | 2,500.00           |
|                                     |  |     |      |           | <b>12,112.00</b>   |
| <b>11 Sanitary Plumbing</b>         |  |     |      |           |                    |
| 11.1                                | Allow for disconnecting, removal and storage of existing sanitary wear. Allow for reinstallation upon completion   | 1   | Item | 1,500.00  | 1,500.00           |
|                                     |  |     |      |           | <b>1,500.00</b>    |
| <b>12 Electrical Services</b>       |  |     |      |           |                    |
| 12.1                                | Allow for the removal of all existing wiring and light fittings to facilitate the remedial works   | 89  | m2   | 20.00     | 1,780.00           |
| 12.2                                | Allow for new electrical reticulation and commercial lighting allowance for base build only. Allowance for working around heritage material                      | 89  | m2   | 80.00     | 7,120.00           |
|                                     |  |     |      |           | <b>8,900.00</b>    |
| <b>13 External Works</b>            |  |     |      |           |                    |
| 13.1                                | Allowance for making good paving   | 1   | Item | 2,000.00  | 2,000.00           |
|                                     |  |     |      |           | <b>2,000.00</b>    |
| <b>14 Preliminary &amp; General</b> |  |     |      |           |                    |
| 14.1                                | Main Contractors on site preliminaries and general - 6 Month Contract  | 6   | Mnt  | 20,000.00 | 120,000.00         |
| 14.2                                | External scaffolding - erect and dismantle   | 113 | m2   | 14.00     | 1,582.00           |

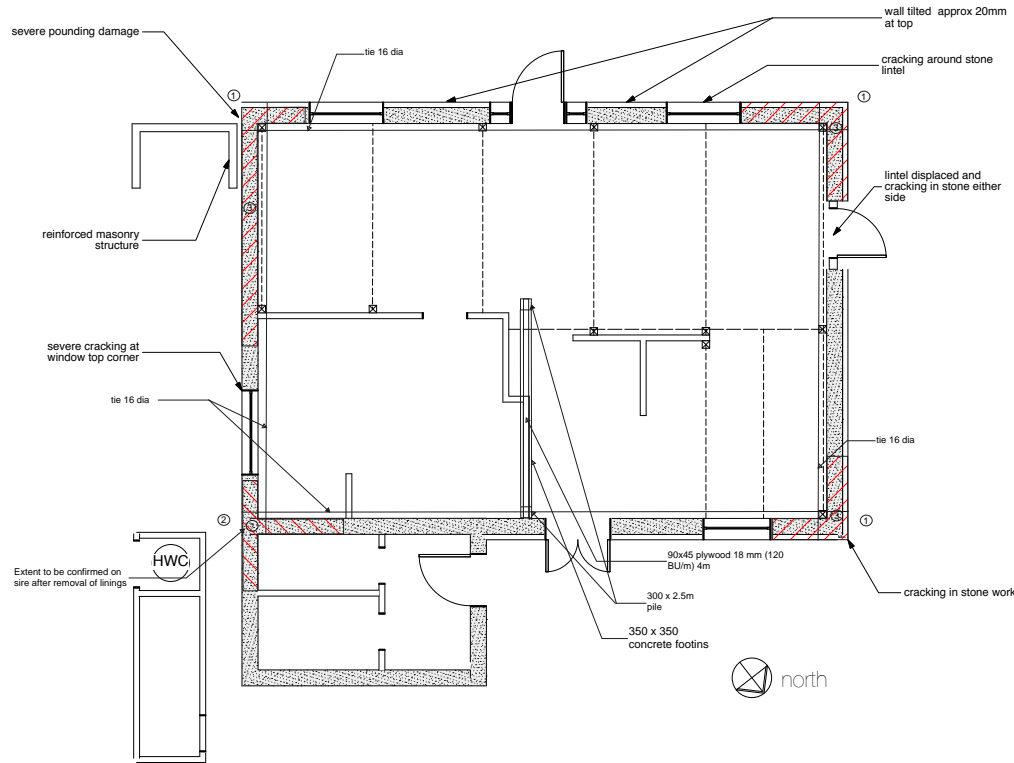
## Elemental Estimate

**Project:** Christchurch City Council  
**Building:** Portstone, 471 Ferry Road

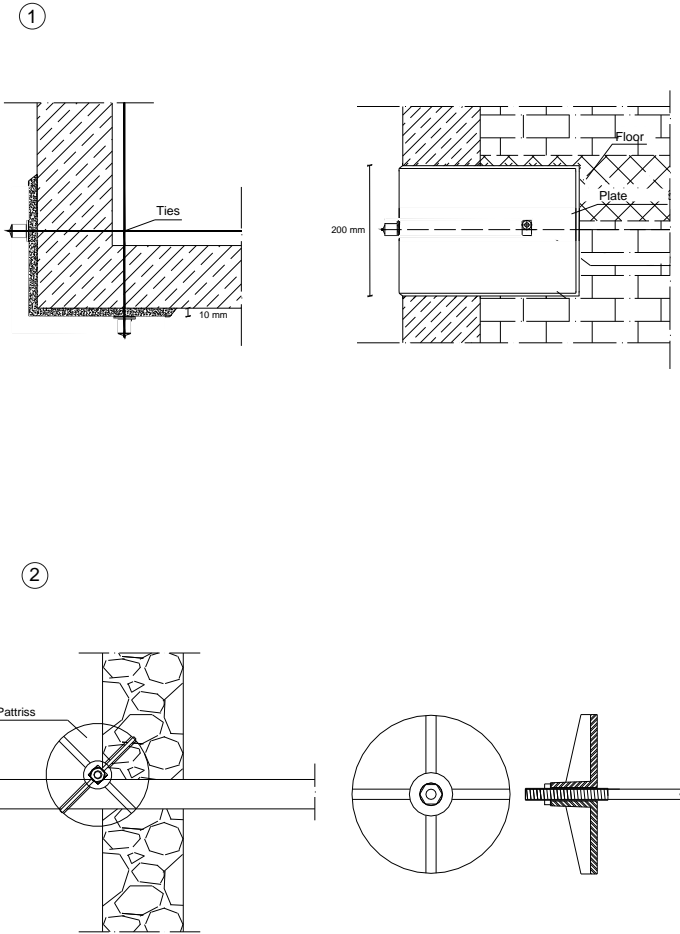
**Details:** Main Building

| Ref                                 | Description                                | Qty | Unit | Rate     | Total              |
|-------------------------------------|--|-----|------|----------|--------------------|
| <b>14 Preliminary &amp; General</b> |  |     |      |          | <i>(Continued)</i> |
| 14.3                                | External scaffolding - rental for 6 months | 113 | m2   | 52.00    | 5,876.00           |
| 14.4                                | Internal mobile scaffolds                  | 1   | Item | 2,000.00 | 2,000.00           |
| 14.5                                | Temporary protection to existing structure | 1   | Item | 5,000.00 | 5,000.00           |
| 14.6                                | Temporary propping (Provisional Sum)       | 1   | Item | 2,000.00 | 2,000.00           |
|                                     |  |     |      |          | <b>136,458.00</b>  |
|                                     |  |     |      |          | <b>418,471.00</b>  |





PLAN 1:100



**PORTSTONE**  
**471 FERRY ROAD**

**GROUND FLOOR**  
**PLAN**

REVISIONS

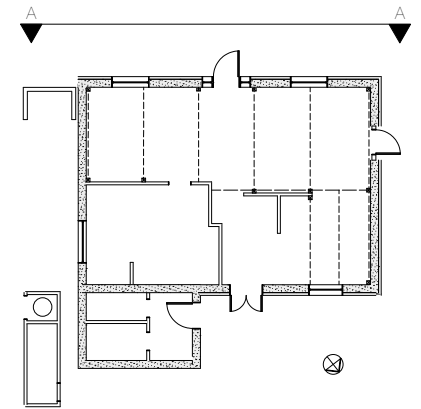
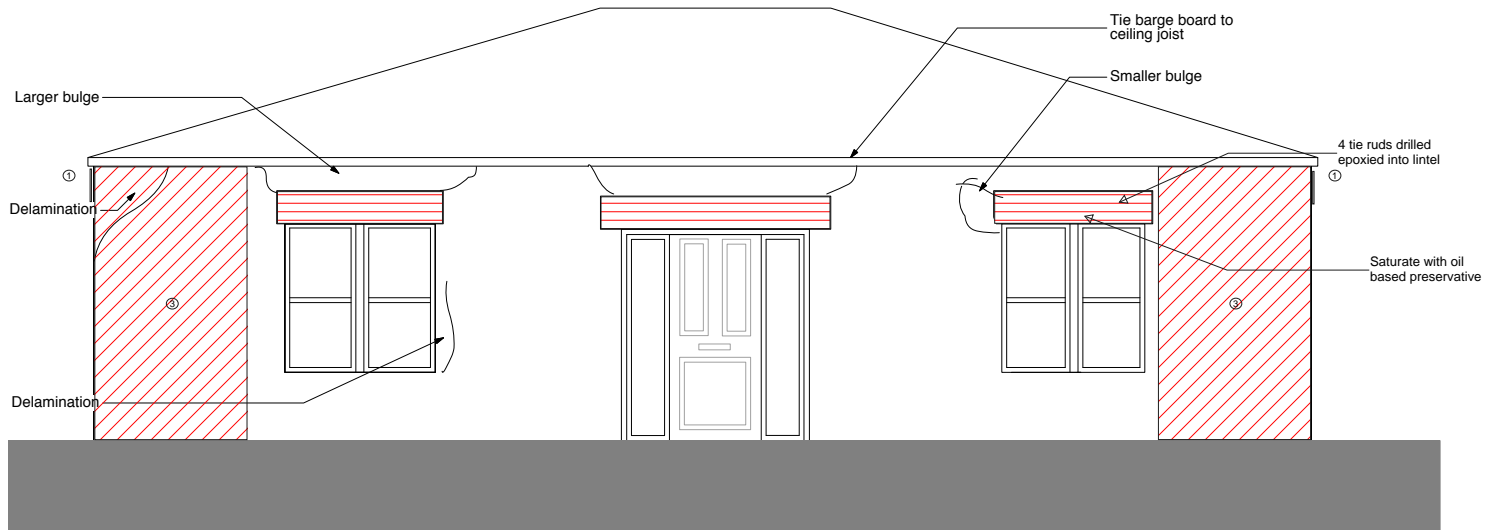
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 Drawn Sally Ogle  
 CAD Reference

Job Number  
**7296**  
 Drawing Number  
**00**  
 Rev A



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PLAN 1:200

ELEVATION A 1:50

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m

Original Scale

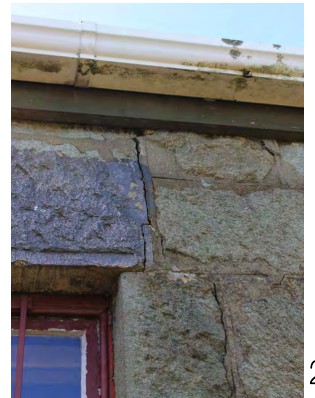
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3



2

PORTSTONE  
471 FERRY ROAD

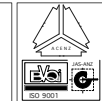
ELEVATION A

REVISIONS

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| Preliminary Design/Pricing | 04/03/2013 |

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Designed  
Drawn Sally Ogle  
CAD Reference

Job Number  
**7296**  
Drawing Number  
**01**  
Rev A

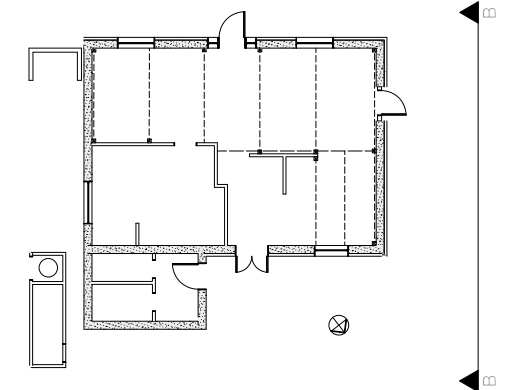
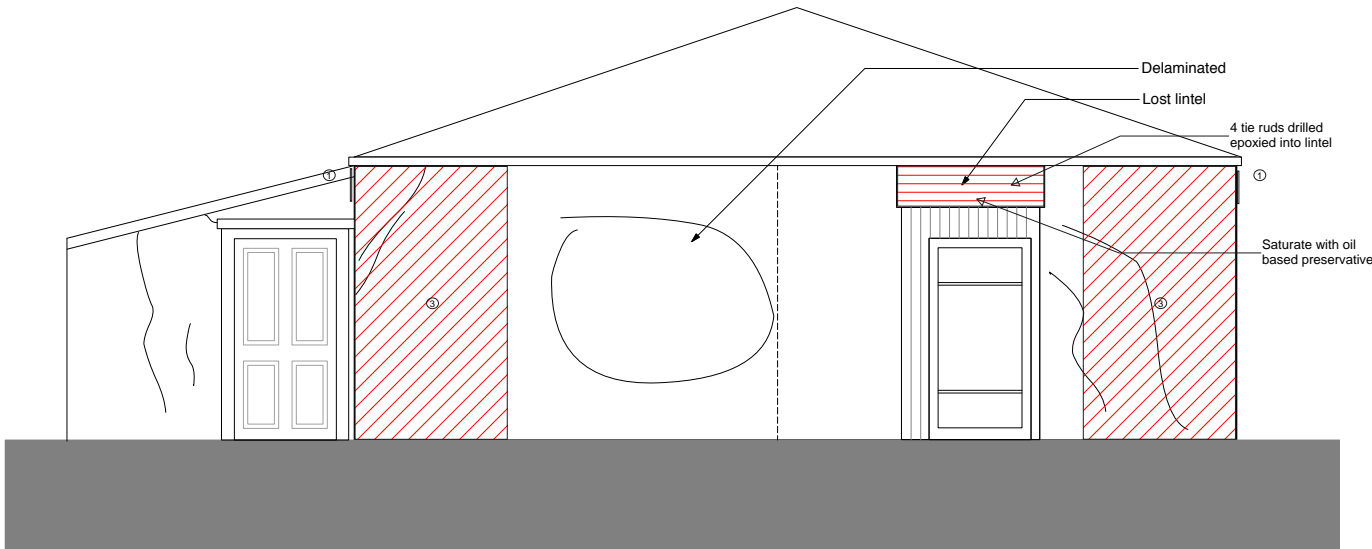


IF IN DOUBT ASK

DO NOT SCALE

p: 385 0019 f: 385 0312 e: dt@enginedunningthornton.co.nz P.O. Box 27-153 Wellington

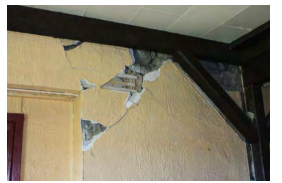
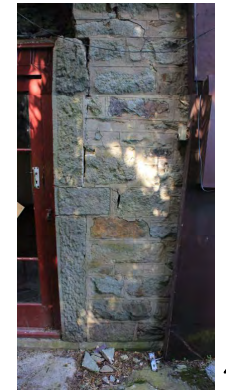
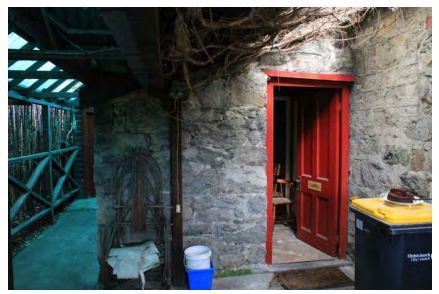
Original Size A1



PLAN 1:200

ELEVATION B 1:50

100  
50  
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Original Scale

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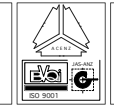
PORTSTONE  
471 FERRY ROAD

ELEVATION B

| REVISIONS                  |            |
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| Preliminary Design/Pricing | 04/03/2013 |

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Drawing Number  
02  
Rev A

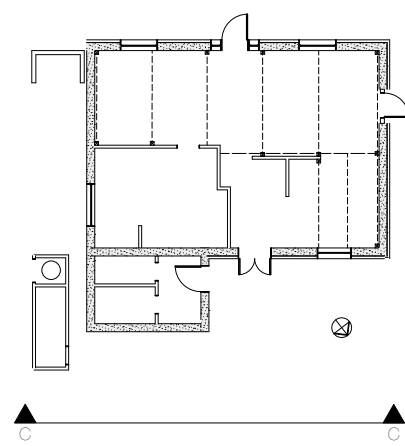
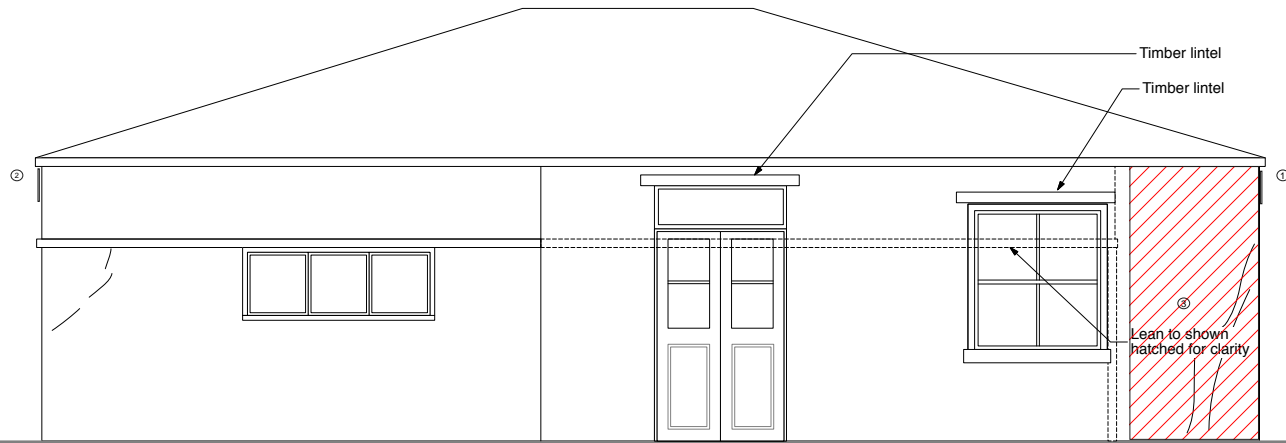


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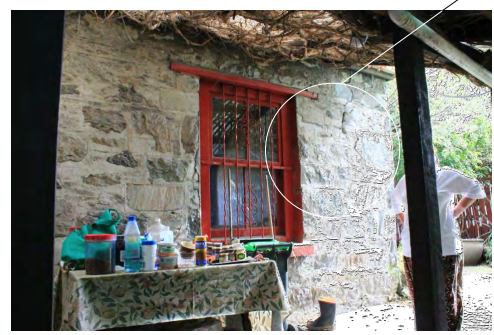
PLAN 1:200

ELEVATION C 1:50

100  
50  
0  
10  
Original Scale

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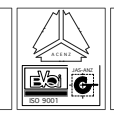
PORTSTONE  
471 FERRY ROAD

ELEVATION C

| REVISIONS                  |            |
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| Preliminary Design/Pricing | 04/03/2013 |

Scales 1:50  
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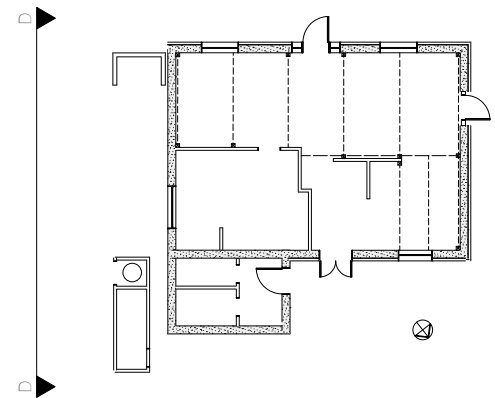
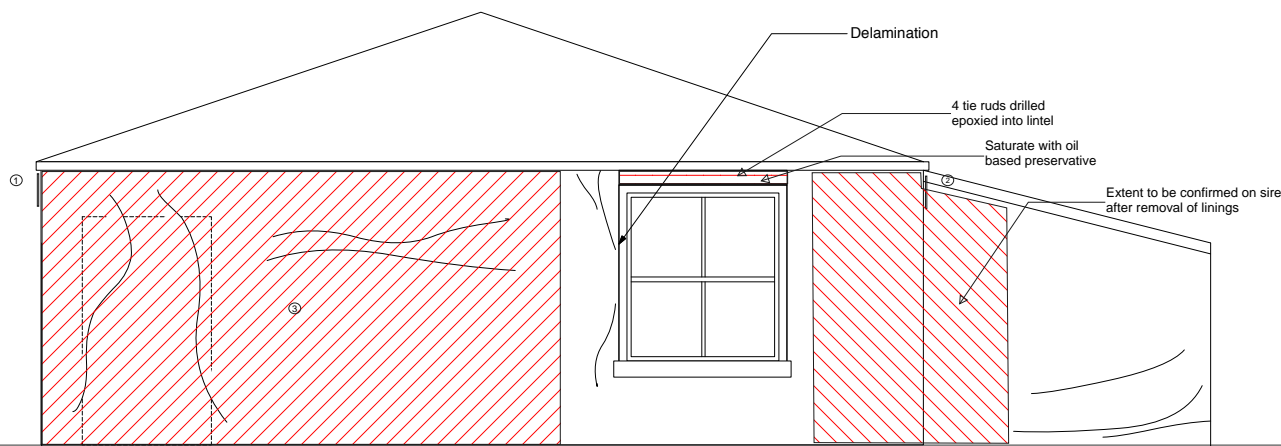
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 Rev A



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PLAN 1:200

ELEVATION D 1:50

100  
50  
0  
10  
m

Original Scale

Original Size A1



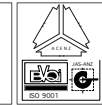
PORTSTONE  
471 FERRY ROAD

ELEVATION D

| REVISIONS                  |            |
|----------------------------|------------|
|                            |            |
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|                            |            |
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| Preliminary Design/Pricing | 04/03/2013 |

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Job Number  
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Drawing Number  
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Rev A

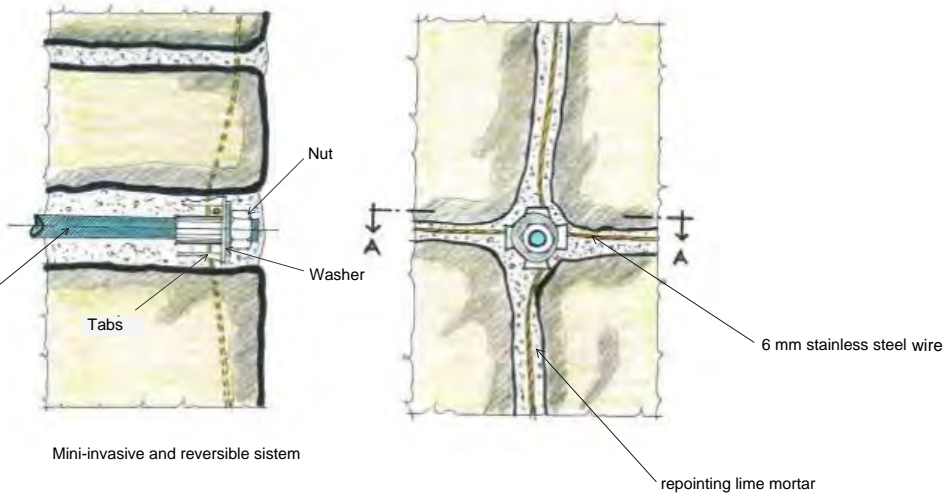
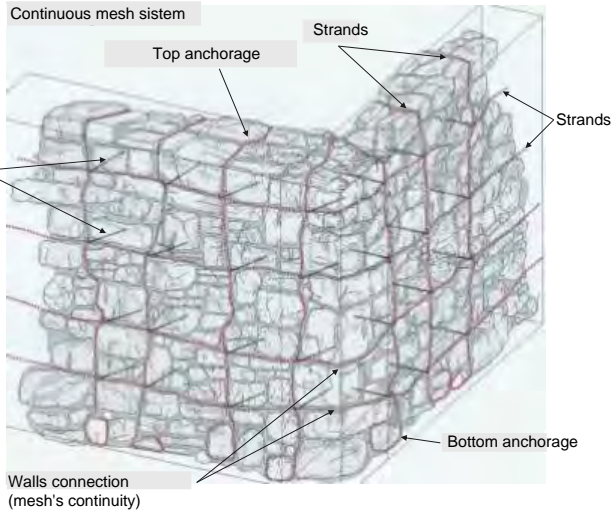


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Original Size A1  
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90  
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10

# PORTSTONE 471 FERRY ROAD

## DETAIL

IF IN DOUBT ASK

| REVISIONS                  |            |
|----------------------------|------------|
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|                            |            |
|                            |            |
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| Preliminary Design/Pricing | 04/03/2013 |

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| Designed      | Sally Ogle |       |
| Drawn         | Sally Ogle |       |
| CAD Reference |            |       |

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| Job Number     | 7296 |
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| Rev A          |      |



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**APPENDIX D: 3380/007 R2 – REVIEW REPORT – HIN 1060 – MITRE HOTEL  
AND SETTING – 40 NORWICH QUAY, LYTTTELTON – 02 AUGUST 2023**

(overleaf)

2 August 2023

Te Hononga Civic Offices  
53 Hereford Street  
CHRISTCHURCH 8013

Attn: Amanda Ohs (e: [Amanda.ohs@ccc.govt.nz](mailto:Amanda.ohs@ccc.govt.nz))

Dear Amanda

**3380/007 R2 – REVIEW REPORT – HIN 1060 – MITRE HOTEL AND SETTING – 40 NORWICH QUAY,  
LYTTELTON**

Please find enclosed our estimate reviews for Mitre Hotel and Setting at 40 Norwich Quay, Lyttelton.

Should you have any queries, please do not hesitate to contact the writer

Yours faithfully



Gavin Stanley BSc QS NZIQS (Affil)  
Project Cost Consultant  
**Rhodes + Associates Limited**

# RA

**Rhodes  
+Associates**

Quantity Surveyors  
Cost Consultants

3380/007 R2 - HIN 1060 - MITRE HOTEL AND SETTING, 40  
NORWICH QUAY

Estimate Reviews

02 August 2023

Christchurch City Council

## QUALITY ASSURANCE INFORMATION

**Report:** ESTIMATE REVIEWS

**Document:** HIN 1060 - MITRE HOTEL AND SETTING, 40 NORWICH QUAY

**Ref:** 3380/007 R2

**Date:** 02 August 2023

**Client:** CHRISTCHURCH CITY COUNCIL

**Lead QS:** GAVIN STANLEY

---

| <b>Ver:</b> | <b>Date:</b> | <b>Prepared By:</b> | <b>Reviewed By:</b> |
|-------------|--------------|---------------------|---------------------|
|             | 6/07/2023    | Gavin Stanley       | Phil Griffiths      |
| R1          | 26/07/2023   | Gavin Stanley       | Phil Griffiths      |
| R2          | 02/08/2023   | Gavin Stanley       | Phil Griffiths      |

## **EXECUTIVE SUMMARY**

Rhodes + Associates Limited have been appointed by Christchurch City Council to provide a review for multiple construction options at Mitre Hotel and Setting at 40 Norwich Quay, Lyttelton using modern construction techniques to comply with current building regulations.

This report has been prepared specifically for Christchurch City Council. Rhodes + Associates Limited accepts no liability in the event this report is used for any other purpose or by any other party.

## CLARIFICATIONS AND EXCLUSIONS

Rhodes + Associates Limited have not been requested to produce an estimate for the repair/replacement of Mitre Hotel at 40 Norwich Quay, Lyttelton and as such we have been requested to carry out a high-level review of the documentation by multiple contractors provided by Christchurch City Council. Allowances have been made for escalation given the submission dates of the contractor's estimates.

### Building Description

The building was constructed in 1926 and has a GFA of approximately 802 m<sup>2</sup> (measured in accordance with NZIQS guidelines, see Appendix A) and is constructed on three levels which includes a basement. The structure consists of a mixture of reinforced concrete and brick with a corrugated steel roof.

### Procurement

- It has been assumed the market is competitive with no adjustment included for inflationary factors associated with a major event
- The works are to be negotiated with a fixed lump sum contract

### Review

This review has been carried out by Gavin Stanley, Senior Quantity Surveyor with Rhodes and Associated Limited who has a BSc in Quantity Surveying, 30+ years' experience and is an Affiliate Member of the NZIQS.

The review has been based upon limited costings from Ceres New Zealand LCC, Wheelers Limited and Prendos New Zealand Limited (Appendix F) which covers making safe, stabilisation of southern and eastern façade with rebuild and full demolition with rebuild.

We have not been provided with breakdowns for the estimates from either Ceres New Zealand LCC (2012), Wheelers Limited (2014). Prendos New Zealand Limited (2017) is an elemental estimate and makes allowance for the replacement of Mitre Hotel to match the existing construction and layout.

No allowances have been made to allow for any further deterioration or additional works that may be required to the building beyond the dates of the quotations.

### Methodology

For simplicity we have carried out our calculations for construction escalation costs based on the 'New Zealand standard conditions of contract for building and civil engineering construction NZS 3910:2013', in particular 'Appendix A – Cost fluctuation adjustment by indexation' of that contract (see Appendix B for copy).

Indices are required for the calculations which are updated on a quarterly basis and are published by Statistics New Zealand. The indices are available on their website <http://archive.stats.govt.nz/infoshare/>

*L and L<sup>1</sup> – 'Labour Cost Index; Private Sector; Industry Group – Construction: All Salary and Wages Rates' (see Appendix D for relevant indices)*

*M and M<sup>1</sup> – 'Producers Price Index; Inputs: Industry Group - Construction' (see Appendix D for relevant indices)*

This report is required to calculate escalation to July 2023. Unfortunately, indices by Statistics New Zealand have only been produced up to the quarter ending March 2023, we have allowed for additional estimated escalation up to the third quarter of 2023 (See Appendix D for Indices).

Option 1 - Demolition and rebuild options

Please note we have carried out escalation calculations on all estimates as below and shown in Appendix C.

Ceres New Zealand LCC - 2012 (including escalation) \$2,764,838 (\$3,447 per m2)  
 Wheelers Limited – 2014 (including escalation) \$4,030,557 (\$5,026 per m2)  
 Prendos New Zealand Limited - 2017 (including escalation) \$4,061,505 (\$5,064 per m2)

We have concentrated on the estimate provided by Prendos New Zealand Limited as it is the most recent, allows for a rebuild to match the existing building, is detailed and does appear to be reasonable given their assumptions and exclusions based upon the information they received. The percentages applied however in our experience, appear to be light and we have increased the following:

- Preliminary & General from 7% to 12%
- Margin from 7% to 8%
- Construction Contingency from 5% to 10%
- Professional Fees from 8% to 15%

These adjustments have the effect of increasing the overall rebuild budget from \$4,061,505 (\$5,064/m2) to \$4,795,884 (\$5,980/m2) excluding GST

Option 2 - Demolition and rebuild options incorporating the existing southern and eastern facades

Only Ceres New Zealand LCC have provided costings related to this option although the full demolition and total rebuild estimate when escalated does appear to be lower than anticipated.

Using the Ceres New Zealand LCC estimate, we have arrived at an escalated extra value figure for the retention of the southern and eastern facades (methodology and detail contained within their proposal of 27 February 2012) and as calculated below.

|  |                    |
|--|--------------------|
| Stabilisation of southern and eastern facades and rebuild (27 February 2012) | \$3,854,982        |
| Omit - Full demolition and total rebuild (27 February 2012)                  | -\$2,764,838       |
| <b>Extra value for retention of southern and eastern facades</b>             | <b>\$1,090,144</b> |

*(Note all figures above have been escalated and are shown in Appendix C)*

For simplicity we have added \$1,090,144 to the adjusted Prendos New Zealand Figure of \$4,795,884 to give an overall figure of \$5,886,028 for the demolition and rebuild options incorporating the existing southern and eastern facades.

Option 3 – Repair

Wheelers Limited provided repair estimates on 20 November 2014 for multiple earthquakes based on limited information, assumptions and requesting a more detailed engineers report.

The estimates do not contain sufficient detail for us to make comment on whether the rates would be reasonable or not.

We have assumed that there is no overlap on repairs for the separate events.



With the limited information, we have taken Wheelers Limited's estimates to arrive at an overall estimated repair cost.

| <b>Event</b>          | <b>Estimate<br/>(including escalation, excluding GST)</b> |
|-----------------------|---|
| September 2010        | \$123,176   |
| February 2011         | \$3,524,787   |
| June 2011             | \$371,888   |
| <b>Combined total</b> | <b>\$4,019,851</b>  |

Given that the GFA is approximately 802 m2 this would equate to a repair estimate of around \$5,012/m2

Option 4 – Demolition and replacement with a modern building

A replacement with a modern structure (which would bear no resemblance to the look of the existing) from our recent experience would be in the region of \$4,500/m2 to \$5,000/m2 at current market rates. GFA is approximately 802 m2, this would result in a replacement estimate between \$3,609,000 to \$4,010,000.

**DOCUMENTATION**

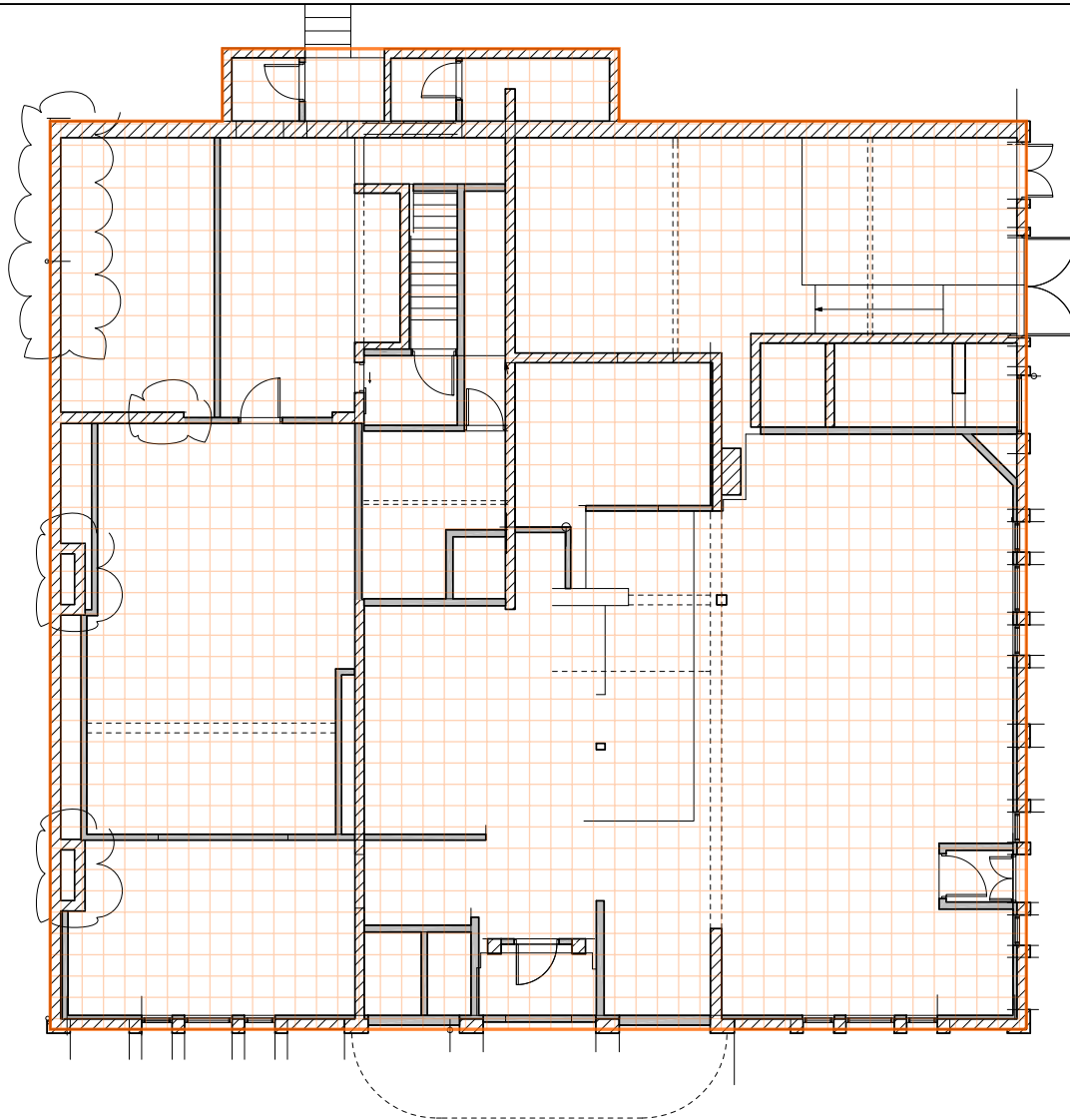
- CERES New Zealand LCC
  - Proposal for Mitre Tavern at 40 Norwich Quay - 27 February 2012
  - Make Safe Remedial Works - 28 March 2012
- Prendos New Zealand Limited
  - Rebuild Estimate - 9 May 2017
- Wheelers Limited
  - Mitre Hotel, Lyttelton, Canterbury - 20 November 2014



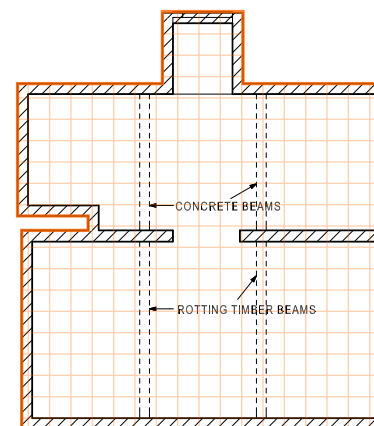
# CostX Drawing

Project: Christchurch City Council  
 Building: 3360/007 - Mitre Tavern, Lyttelton

Drawing: AE Architects Limited\A01 - Ground Floor Plan  
 Filename: R:\CostX Drawings\3CH\3CH 33\3380 Heritage Plan Change\3380\_007 Mitre Hotel\RMA20201325 - Application original - Supporting documents.PDF



**Legend**  
 R0\E00 Standards  
 R0E00 GFA 440 m2



BASEMENT

CONFIRM ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE

DRAWINGS PRINTED FROM PDF MAY NOT BE TO SCALE

**AE Architects Limited**

145 High Street, PO Box 22 284, Christchurch 8142  
 Tel. 03 379 9525 Fax. 03 379 6445 Email. aearchitects@intrados.co.nz  
 www.intrados.co.nz

**DE ZWARTS**

MITRE TAVERN  
 40 NORWICH QUAY, LYTTLETON

SCALE 1:100

DRAWN ADE

ISSUE: BASE PLAN 28/6/11

CONTENTS:

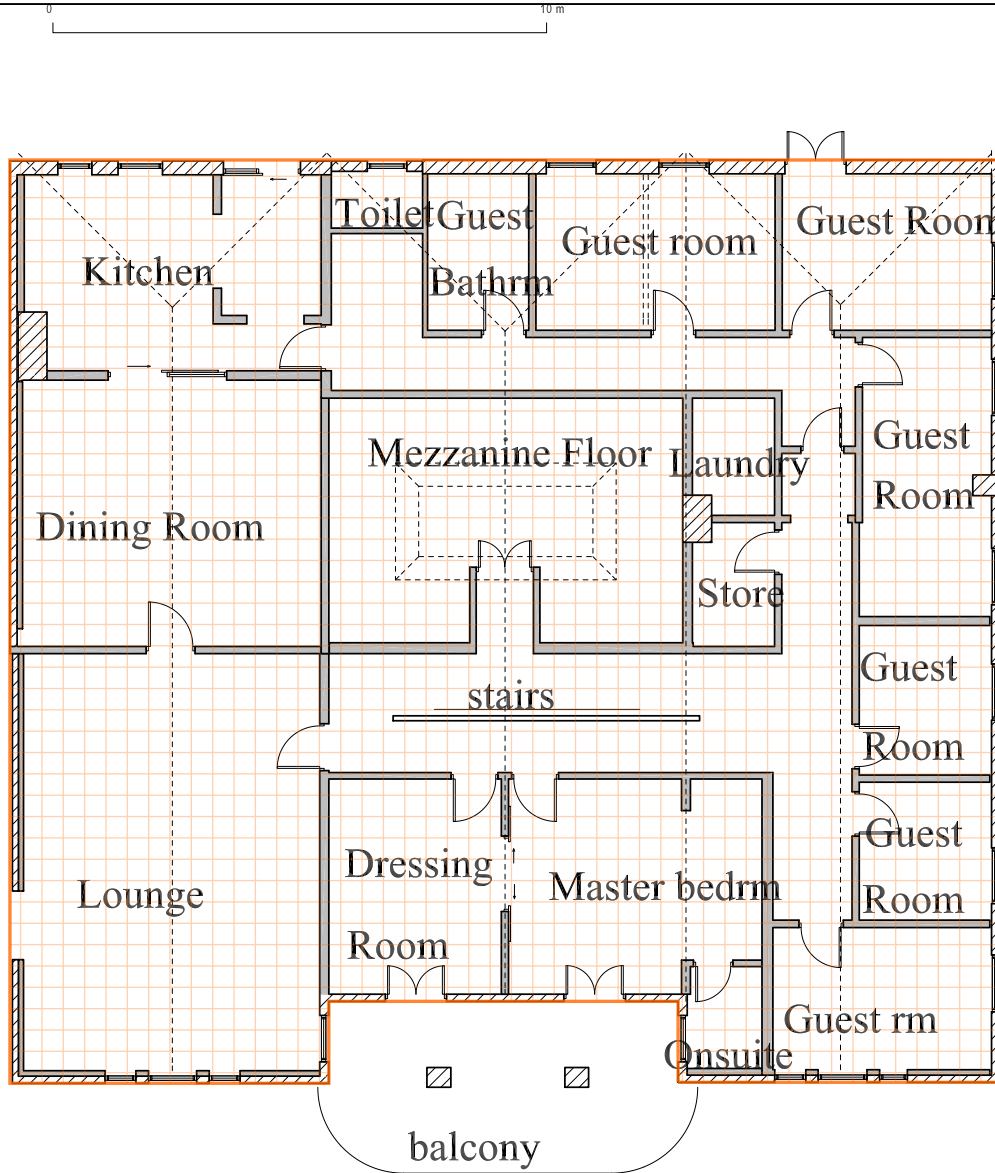
GROUND FLOOR  
 PLAN

**A01**

# CostX Drawing

Project: Christchurch City Council  
 Building: 3360/007 - Mitre Tavern, Lyttleton

Drawing: AE Architects Limited\A02 - First Floor Plan  
 Filename: R:\CostX Drawings\3CH\3CH 33\3380 Heritage Plan Change\3380\_007 Mitre Hotel\RMA20201325 - Application original - Supporting documents floor plan



**Legend**  
 R0\E00 Standards  
 R0E00 GFA 362 m2

CONFIRM ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE

DRAWINGS PRINTED FROM PDF MAY NOT BE TO SCALE

**AE Architects Limited**

145 High Street, PO Box 22 284, Christchurch 8142  
 Tel. 03 379 9525 Fax. 03 379 6445 Email. ae.architects@intrados.co.nz  
 www.intrados.co.nz

**DE ZWARTS**  
 MITRE TAVERN  
 40 NORWICH QUAY, LYTTLETON

SCALE 1:100

DRAWN ADE

ISSUE: CONCEPT 6/7/11

CONTENTS:  
 1ST FLOOR PLAN

**A02**



**NZS 3910:2003**

**APPENDIX A – COST FLUCTUATION ADJUSTMENT BY INDEXATION**

**A1**

The provisions of this Appendix shall apply unless otherwise specifically provided in the Special Conditions.

**A2**

The amounts payable by the Principal to the Contractor under the contract shall be adjusted up or down by amounts calculated in accordance with the following formula:

where

$$C=V \left[ \frac{0.4(L-L')}{L'} + \frac{0.6(M-M')}{M'} \right]$$

C = Cost fluctuation adjustment for the quarter under consideration,

V = Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A3, but without deduction of retentions and excluding the Cost fluctuation adjustment,

L = Labour Cost Index; Private Sector: Industry Group – Construction: All Salary and Wage Rates: published by Statistics New Zealand, for the quarter under consideration,

L' = Index as defined under L but applying for the quarter during which tenders close,

M = Producers Price Index; Inputs: Industry Group – Construction, published by Statistics New Zealand applying for the quarter under consideration,

M' = Index as defined under M but applying for the quarter during which tenders close.

**A3**

For the purpose of calculating the Cost fluctuation adjustment, any Daywork, Prime Cost Sums, Variations and other payment items which are based on actual Cost or current prices and any advances shall be excluded from the Engineer's valuation.

**A4**

No other Cost fluctuation adjustment will be made by reason of any inaccuracy in the proportions of labour and Material Costs assumed in the above formula.

**A5**

The Contractor shall not be entitled to claim or have deducted any Cost fluctuation adjustment for any further changes in indices which occur after the Due Date for Completion of the contract.

**A6**

The indices to be used in the calculation of fluctuation shall be those first published by Statistics New Zealand for the appropriate quarter.

**A7**

Where indices for the quarter have not yet been published, interim payments will be made on the basis of the indices for the most recent quarter for which indices are available.

**A8**

If at any time either of the indices referred to in A2 are no longer published by Statistics New Zealand, or if the basis of either index is materially changed, the adjustment shall thereafter be calculated by using such other index, or in such other manner, as will fairly reflect the changes as previously measured by that index.

For Statistics New Zealand Producers price index information goto <T:\RACL - Information Point\Cost Information\Business Price Indexes>

**Appendix C**  
Cost Fluctuation Adjustment Calculations By Indexations

Cost Fluctuation Adjustment Calculations By Indexation (Note all figures excluded GST)

CERES NEW ZEALAND LIMITED

$$C=V \left[ \frac{0.4(L-L)}{L} + \frac{0.6(M-W)}{M} \right]$$

| C  | Cost fluctuation adjustment for the quarter under consideration, (rounded up to the nearest \$)   | Year/Quarter | Period                 | A<br>Make safe reinstatement works (28 March 2012) | B<br>Stabilisation of eastern facades and rebuild (27 February 2012) - February 2012 | C<br>Full demolition and total rebuild (27 February 2012) | D = B - C<br>Difference Between Option 2 and 3 |
|----|---|--------------|------------------------|--|--|---|--|
| V  | Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A3, but without deduction of retentions |              |                        | \$ 1,087,770.00                                    | \$ 2,783,000.00  | \$ 1,996,000.00   | \$ 787,000.00                                  |
| L  | Labour Cost Index: Private Sector: Industry Group - Construction: All Salary and Wage Rates: published  | 2023 Q3      | July to September 2023 | 1377   | 1377   | 1377  | 1377   |
| L' | Index as defined under L but applying for the quarter during which tenders close.   | 2012 Q1      | January to March 2012  | 1054   | 1054   | 1054  | 1054   |
| M  | Producers Price Index: Inputs: Industry Group - Construction, published by Statistics New Zealand applying for the quarter under consideration.   | 2023 Q3      | July to September 2023 | 1488   | 1488   | 1488  | 1488   |
| M' | Index as defined under M but applying for the quarter during which tenders close.   | 2012 Q1      | January to March 2012  | 1035   | 1035   | 1035  | 1035   |
|    | <b>Adjusted value (Rounded up to nearest \$)</b>  |              |                        | \$ 150,648.00                                      | \$ 3,854,982.00  | \$ 2,716,838.00   | \$ 1,090,144.00                                |
|    | Adjusted \$/m2  |              |                        | \$ 187.87  | \$ 4,866.71  | \$ 3,447.43   | \$ 1,359.28                                    |

WHEELERS LIMITED - 20 November 2014

$$C=V \left[ \frac{0.4(L-L)}{L} + \frac{0.6(M-W)}{M} \right]$$

| C  | Cost fluctuation adjustment for the quarter under consideration, (rounded up to the nearest \$)   | Year/Quarter | Period                   | E<br>Partial demolition and rebuild | F<br>Repair September 2010 | G<br>Repair February 2011 | H<br>Repair June 2011 | J = F + G + H<br>Combined Repair |
|----|---|--------------|--------------------------|-------------------------------------|----------------------------|---------------------------|-----------------------|----------------------------------|
| V  | Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A3, but without deduction of retentions |              |                          | \$ 986,877.00                       | \$ 30,460.00               | \$ 871,628.00             | \$ 91,962.00          | \$ 994,049.00                    |
| L  | Labour Cost Index: Private Sector: Industry Group - Construction: All Salary and Wage Rates: published  | 2023 Q3      | July to September 2023   | 1377                                | 1377                       | 1377                      | 1377                  | 1377                             |
| L' | Index as defined under L but applying for the quarter during which tenders close.   | 2014 Q4      | October to December 2014 | 1120                                | 1120                       | 1120                      | 1120                  | 1120                             |
| M  | Producers Price Index: Inputs: Industry Group - Construction, published by Statistics New Zealand applying for the quarter under consideration.   | 2023 Q3      | July to September 2023   | 1488                                | 1488                       | 1488                      | 1488                  | 1488                             |
| M' | Index as defined under M but applying for the quarter during which tenders close.   | 2012 Q1      | January to March 2012    | 1067                                | 1067                       | 1067                      | 1067                  | 1067                             |
|    | <b>Adjusted value (Rounded up to nearest \$)</b>  |              |                          | \$ 4,030,557.00                     | \$ 123,176.00              | \$ 3,524,787.00           | \$ 371,885.00         | \$ 4,019,850.00                  |
|    | Adjusted \$/m2  |              |                          | \$ 5,025.63                         | \$ 153.59                  | \$ 4,395.00               | \$ 463.70             | \$ 5,012.28                      |

PRENDOS NEW ZEALAND LIMITED

$$C=V \left[ \frac{0.4(L-L)}{L} + \frac{0.6(M-W)}{M} \right]$$

| C  | Cost fluctuation adjustment for the quarter under consideration, (rounded up to the nearest \$)   | Year/Quarter | Period                 | K<br>Adjusted full demolition and match existing (9 May 2017) | L<br>Adjusted full demolition and total rebuild to match existing (9 May 2017) incorporating adjusted %s (See Appendix E) |
|----|---|--------------|------------------------|---|---|
| V  | Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A3, but without deduction of retentions |              |                        | \$ 873,049.00   | \$ 1,030,909.00   |
| L  | Labour Cost Index: Private Sector: Industry Group - Construction: All Salary and Wage Rates: published  | 2023 Q3      | July to September 2023 | 1377  | 1377  |
| L' | Index as defined under L but applying for the quarter during which tenders close.   | 2017 Q3      | April to June 2017     | 1175  | 1175  |
| M  | Producers Price Index: Inputs: Industry Group - Construction, published by Statistics New Zealand applying for the quarter under consideration.   | 2023 Q3      | July to September 2023 | 1488  | 1488  |
| M' | Index as defined under M but applying for the quarter during which tenders close.   | 2017 Q3      | April to June 2017     | 1109  | 1109  |
|    | <b>Adjusted value (Rounded up to nearest \$)</b>  |              |                        | \$ 4,061,505.00   | \$ 4,795,884.00   |
|    | Adjusted \$/m2  |              |                        | \$ 5,064.22   | \$ 5,979.91   |





**Labour Cost Index - LCI - L and L<sup>1</sup> - Jan 2011 to Dec 2020**

**Work Income And Spending | Labour Cost Index**

Private Sector and Industry Group  
(ANZSIC06)(Base: June 2009 qtr (=1000))  
(Qrtly-Mar/Jun/Sep/Dec)

|         | All Salary and Wage Rates Construction | Movement In Index |
|---------|--|-------------------|
| 2012Q1  | 1054                                   | 4                 |
| 2012Q2  | 1059                                   | 5                 |
| 2012Q3  | 1066                                   | 7                 |
| 2012Q4  | 1076                                   | 10                |
| 2013Q1  | 1079                                   | 3                 |
| 2013Q2  | 1083                                   | 4                 |
| 2013Q3  | 1087                                   | 4                 |
| 2013Q4  | 1094                                   | 7                 |
| 2014Q1  | 1100                                   | 6                 |
| 2014Q2  | 1106                                   | 6                 |
| 2014Q3  | 1112                                   | 6                 |
| 2014Q4  | 1120                                   | 8                 |
| 2015Q1  | 1123                                   | 3                 |
| 2015Q2  | 1131                                   | 8                 |
| 2015Q3  | 1135                                   | 4                 |
| 2015Q4  | 1140                                   | 5                 |
| 2016Q1  | 1149                                   | 9                 |
| 2016Q2  | 1153                                   | 4                 |
| 2016Q3  | 1159                                   | 6                 |
| 2016Q4  | 1164                                   | 5                 |
| 2017Q1  | 1170                                   | 6                 |
| 2017Q2  | 1175                                   | 5                 |
| 2017Q3  | 1182                                   | 7                 |
| 2017Q4  | 1185                                   | 3                 |
| 2018Q1  | 1192                                   | 7                 |
| 2018Q2  | 1198                                   | 6                 |
| 2018Q3  | 1204                                   | 6                 |
| 2018Q4  | 1211                                   | 7                 |
| 2019Q1  | 1216                                   | 5                 |
| 2019Q2  | 1222                                   | 6                 |
| 2019Q3  | 1227                                   | 5                 |
| 2019Q4  | 1236                                   | 9                 |
| 2020Q1  | 1242                                   | 6                 |
| 2020Q2  | 1235                                   | -7                |
| 2020Q3  | 1246                                   | 11                |
| 2020Q4  | 1253                                   | 7                 |
| 2021Q1  | 1264                                   | 11                |
| 2021Q2  | 1273                                   | 9                 |
| 2021Q3  | 1284                                   | 11                |
| 2021Q4  | 1294                                   | 10                |
| 2022Q1  | 1305                                   | 11                |
| 2022Q2  | 1326                                   | 21                |
| 2022Q3  | 1336                                   | 10                |
| 2022Q4  | 1353                                   | 17                |
| 2023Q1  | 1361                                   | 8                 |
| 2023Q2* | 1369                                   | 8                 |
| 2023Q3* | 1377                                   | 8                 |

Last updated by Statistics New Zealand 03  
May 2023 at 10:45am

**Producers Price Index - PPI - M and M<sup>1</sup> - Jan 2011 to Dec 2020**

**Economic Indicators | Producers Price Index - PPI**

Inputs (ANZSIC06) - NZSIOC level 1, Base:  
Dec. 2010 quarter (=1000) (Qrtly-  
Mar/Jun/Sep/Dec)

|         | Construction | Movement In Index |
|---------|--------------|-------------------|
| 2012Q1  | 1035         | 4                 |
| 2012Q2  | 1035         | 0                 |
| 2012Q3  | 1043         | 8                 |
| 2012Q4  | 1046         | 3                 |
| 2013Q1  | 1048         | 2                 |
| 2013Q2  | 1049         | 1                 |
| 2013Q3  | 1058         | 9                 |
| 2013Q4  | 1057         | -1                |
| 2014Q1  | 1061         | 4                 |
| 2014Q2  | 1065         | 4                 |
| 2014Q3  | 1069         | 4                 |
| 2014Q4  | 1067         | -2                |
| 2015Q1  | 1064         | -3                |
| 2015Q2  | 1071         | 7                 |
| 2015Q3  | 1079         | 8                 |
| 2015Q4  | 1076         | -3                |
| 2016Q1  | 1071         | -5                |
| 2016Q2  | 1078         | 7                 |
| 2016Q3  | 1081         | 3                 |
| 2016Q4  | 1094         | 13                |
| 2017Q1  | 1100         | 6                 |
| 2017Q2  | 1109         | 9                 |
| 2017Q3  | 1116         | 7                 |
| 2017Q4  | 1129         | 13                |
| 2018Q1  | 1138         | 9                 |
| 2018Q2  | 1151         | 13                |
| 2018Q3  | 1168         | 17                |
| 2018Q4  | 1176         | 8                 |
| 2019Q1  | 1175         | -1                |
| 2019Q2  | 1184         | 9                 |
| 2019Q3  | 1193         | 9                 |
| 2019Q4  | 1199         | 6                 |
| 2020Q1  | 1202         | 3                 |
| 2020Q2  | 1198         | -4                |
| 2020Q3  | 1207         | 9                 |
| 2020Q4  | 1211         | 4                 |
| 2021Q1  | 1223         | 12                |
| 2021Q2  | 1246         | 23                |
| 2021Q3  | 1277         | 31                |
| 2021Q4  | 1304         | 27                |
| 2022Q1  | 1353         | 49                |
| 2022Q2  | 1409         | 56                |
| 2022Q3  | 1445         | 36                |
| 2022Q4  | 1467         | 22                |
| 2023Q1  | 1474         | 7                 |
| 2023Q2* | 1481         | 7                 |
| 2023Q3* | 1488         | 7                 |

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May 2023 at 10:45am

\* Denotes estimated indicies taken as movement in last confirmed quarter



**PRENDOS NEW ZEALAND LIMITED - MITRE HOTEL - REBUILD ESTIMATE 9 MAY 2017**

GFA 802 m2

| Description                                   | Original Estimate |      |                  |                 | Adjusted Estimate |      |                  |                 |
|---|-------------------|------|------------------|-----------------|-------------------|------|------------------|-----------------|
|   | Quantity          | Unit | Value            | \$/m2           | Quantity          | Unit | Value            | \$/m2           |
| Demolition and Traffic management             |                   |      | 205,725          | 256.51          |                   |      | 205,725          | 256.51          |
| Site preparation                              |                   |      | 42,274           | 52.71           |                   |      | 42,274           | 52.71           |
| Substructure                                  |                   |      | 114,055          | 142.21          |                   |      | 114,055          | 142.21          |
| Structure                                     |                   |      | 400,119          | 498.90          |                   |      | 400,119          | 498.90          |
| Carpentry                                     |                   |      | 252,022          | 314.24          |                   |      | 252,022          | 314.24          |
| External Joinery                              |                   |      | 122,465          | 152.70          |                   |      | 122,465          | 152.70          |
| Joinery                                       |                   |      | 221,750          | 276.50          |                   |      | 221,750          | 276.50          |
| Cladding                                      |                   |      | 107,200          | 133.67          |                   |      | 107,200          | 133.67          |
| Roof  |                   |      | 79,495           | 99.12           |                   |      | 79,495           | 99.12           |
| Coolroom                                      |                   |      | 26,825           | 33.45           |                   |      | 26,825           | 33.45           |
| Plumbing and fittings                         |                   |      | 113,605          | 141.65          |                   |      | 113,605          | 141.65          |
| Drainage                                      |                   |      | 31,285           | 39.01           |                   |      | 31,285           | 39.01           |
| Heating, ventilation and A/C                  |                   |      | 141,580          | 176.53          |                   |      | 141,580          | 176.53          |
| Fire Protection                               |                   |      | 105,500          | 131.55          |                   |      | 105,500          | 131.55          |
| Electrical services and fittings              |                   |      | 126,200          | 157.36          |                   |      | 126,200          | 157.36          |
| Plasterboard linings                          |                   |      | 105,029          | 130.96          |                   |      | 105,029          | 130.96          |
| Floor Coverings                               |                   |      | 20,586           | 25.67           |                   |      | 20,586           | 25.67           |
| Painting and specialist finishes              |                   |      | 96,865           | 120.78          |                   |      | 96,865           | 120.78          |
| Scaffold and edge protection                  |                   |      | 74,060           | 92.34           |                   |      | 74,060           | 92.34           |
| External works                                |                   |      | 57,558           | 71.77           |                   |      | 57,558           | 71.77           |
| <b>Total</b>                                  |                   |      | <b>2,444,198</b> | <b>3,047.63</b> |                   |      | <b>2,444,198</b> | <b>3,047.63</b> |
| Preliminary and General                       | 7                 | %    | 171,094          | 213.33          | 12                | %    | 293,304          | 365.72          |
| Margin (attendance on subcontractors)         | 7                 | %    | 183,070          | 228.27          | 8                 | %    | 219,000          | 273.07          |
| Construction Contingency                      | 5                 | %    | 130,765          | 163.05          | 10                | %    | 295,650          | 368.64          |
| Professional fees                             | 8                 | %    | 234,330          | 292.18          | 15                | %    | 487,823          | 608.26          |
| Building Consent Fees                         |                   |      | 25,000           | 31.17           |                   |      | 25,000           | 31.17           |
| <b>Total EQR Estimate (exclusive of GST):</b> |                   |      | <b>3,188,456</b> | <b>3,975.63</b> |                   |      | <b>3,764,975</b> | <b>4,694.48</b> |

**STANDARD EXCLUSIONS**

- Price escalation & Demand surge.
- Finance costs.
- Holding costs including rates, taxes and related outgoings.
- Land and legal costs .
- Prendos NZ ltd fees to date.
- Negotiation with Insurer.
- Depreciation.
- Temporary accommodation.
- Relocation, temporary storage and disruption costs for the duration of the construction period .
- Ground strengthening and land remediation works, other than noted.
- Development costs, general costs and capitalised interest calculations
- Statutory authority charges including all utility providers other than noted .
- After hours works.
- Staging.
- Consequential loss.
- Betterment.
- New furnishing and fittings other than noted.
- Contracts work insurance.

**SPECIAL EXCLUSIONS**

- Handling asbestos.
- Ground water and temporary dewatering .
- Contamination of soil.
- Ground strengthening.
- Cooperation with neighbours on access.
- Internal signage.
- Audio system.
- Carpets (contents insurance).
- Curtains, blinds, fixtures other than noted. Special locking (master keys, etc).
- Any lift to FF.

**NOTES**

- External walkway and ladders would not be required any more (subject to heritage requirements).
- Three fireplaces and chimneys are considered (exact number TBC). Allowance for coolroom is considered (TBC).
- To be read in conjunction with the attached cover letter, especially in regard to exclusions.





February 27, 2012

Attn: Tony Ward

**RE: Proposal for Mitre Tavern at 40 Norwich Quay**

Dear Mr. Ward,

Per our discussions and recent site visit, Ceres NZ has put together preliminary pricing for the options discussed for the future of the Mitre Tavern at 40 Norwich Quay in Lyttelton. At this point Option 1, which is to reinstate the building, is pending further engineering analysis from Miyamoto+Cardno. Once they have assembled the scope of work required to both Make Safe and then reinstate the building to over 67% NBS, we will continue with pricing.

In order to provide numbers to begin financial analysis, we have generated the following preliminary pricing for a turn-key design-build contract for Options 2 & 3. The pricing provided here should be considered as preliminary only to give rough order of magnitude estimates for the work. Final pricing will be dependent on final engineering and architectural designs.

**OPTION 1 – MAKE SAFE AND REINSTATEMENT OF EXISTING STRUCTURE**

PRELIMINARY PRICING: TBC

**OPTION 2 – STABILISATION OF THE SOUTHERN AND EASTERN FACADES AND REBUILD**

PRELIMINARY PRICING: \$2,783,000.00+GST (*Two million, seven hundred and eighty three thousand dollars*)

SCOPE OF WORK: We have allowed for the propping of the facade with timber or steel trusses on the exterior of the building. The preliminary design of the facade stabilisation system is attached in Appendix A. Once the facade is stabilised, the remainder of the building will be demolished. Upon completion of the demolition, if necessary the steel trusses will be moved to the interior of the building to minimize traffic management costs. An opportunity for cost savings <Approx. \$10,000.00> may exist if the rebuild can be scheduled immediately after demo, eliminating the need to switch the trusses to the inside of the building.

After demolition and facade stabilisation, construction of the new building will begin. We have allowed for full construction of the buildings per Architectural Plans attached to this report in Appendix B, including standard finishes. We have excluded the fit out items for the Bar area

downstairs and all furnishings. We have also allowed for the reinstatement of the preserved facade elevations.

**Inclusions:** Building demolition, facade stabilisation, site prep, new timber structure with exterior walls and finishes, steel framing to re-connect facade to new structure, premium for reinstatement of preserved heritage elevations, roofing, windows and external doors, stairs and balustrades, internal partitions, internal doors and lights, floor finishes, wall finishes, ceiling finishes, fittings and fixtures, sanitary plumbing, mechanical ventilation services, fire services, electrical services, drainage, exterior landscaping (\$35,000 PS), traffic management, P&G, all applicable insurances, all professional fees.

**Exclusions:** Consents fees, bar fit out items, furnishings, exterior car park and access ways.

Pricing assumes that existing foundations can be reused for the new construction. Because the new structure will be lightweight compared to the existing building, this may be a possibility but cannot be determined until a geotechnical report is completed.

Pricing assumes that the utilities points of connections are sized adequately and undamaged.

### **OPTION 3 – FULL DEMOLITION AND TOTAL REBUILD**

**PRELIMINARY PRICING:** \$1,996,000.00 + GST (*One million, nine hundred and ninety six thousand dollars*)

**SCOPE OF WORK:** We have allowed for full demolition of the building and a full rebuild of the building to replicate the previous building “Mitre No.2”. The scope of work other than the retention and reinstatement of the 2 historic facades shall be the same as listed in Option 2.

**Inclusions:** Building demolition, site prep, new timber structure with exterior walls and finishes to replicate *Mitre No.2*, roofing, windows and external doors, stairs and balustrades, internal partitions, internal doors and lights, floor finishes, wall finishes, ceiling finishes, fittings and fixtures, sanitary plumbing, mechanical ventilation services, fire services, electrical services, drainage, exterior landscaping (\$35,000 PS), traffic management, P&G, all applicable insurances, all professional fees.

Exclusions: Consents fees, bar fit out items, furnishings, exterior car park and access ways.

Pricing assumes that existing foundations can be reused for the new construction. Because the new structure will be lightweight compared to the existing building, this may be a possibility but cannot be determined until a geotechnical report is completed.

We hope that this information will allow you to gain a better understanding of the cost implications for the different options. As mentioned, upon receipt of a scope of work for the Make Safe and Building Reinstatement works, we will provide pricing for Option 1. We thank you for the opportunity to submit this quotation and look forward to completing a mutually beneficial contract.

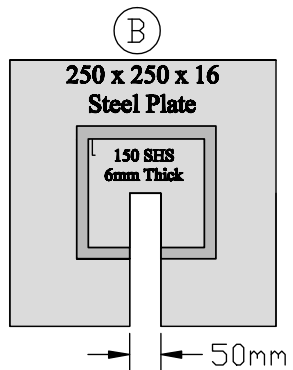
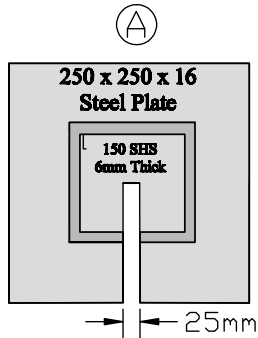
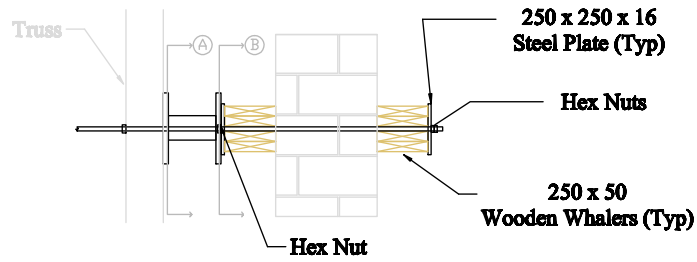
Sincerely,

A handwritten signature in blue ink, appearing to read 'Mark Luckhardt', is positioned above the typed name.

Mark Luckhardt  
Project Engineer - Ceres NZ LLC  
212 Antigua St.  
Central City, Christchurch 8011  
022.089.3736



# Connection Detail



Concrete Blocks

300mm

← Street Side Building Side →

Truss

See Connection Detail

0.5m = Assumed Maximum Facade Profile Change. To Be Field Verified.



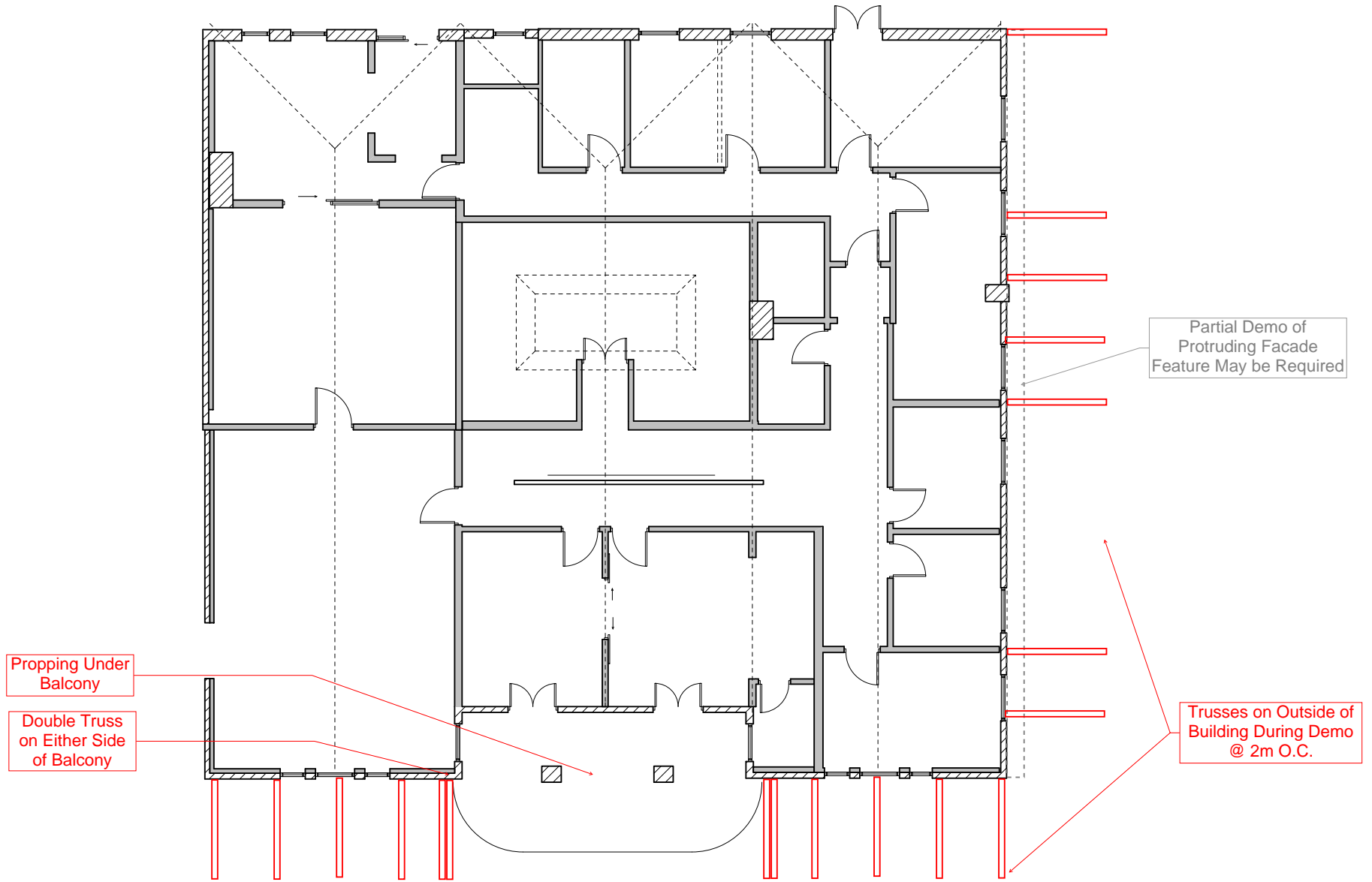
Ceres NZ LLC

| Rev | Description | Date | Appr'd |
|-----|-------------|------|--------|
|     |             |      |        |
|     |             |      |        |
|     |             |      |        |
|     |             |      |        |

| Prepared By | Checked By | Reviewed By | Date | Scale | Project No. | Sheet No. |
|-------------|------------|-------------|------|-------|-------------|-----------|
| MDL         | MDL        |             |      |       |             |           |

40 Norwich Quay  
Mirro Tower  
Facade Stabilization  
Pre Demolition

Sheet Reference  
Number:  
**S-1**

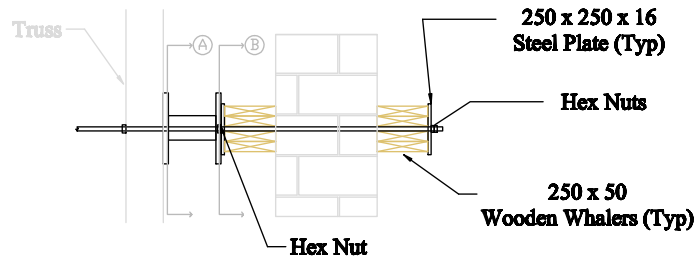


CONFIRM ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE

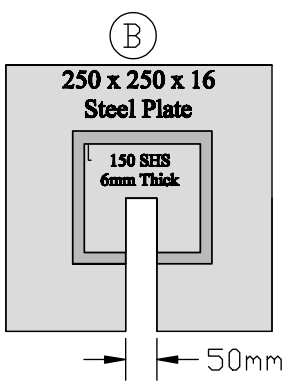
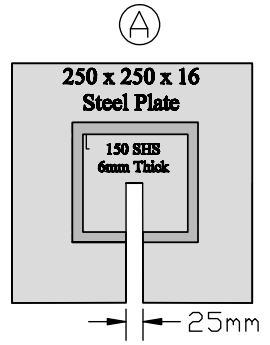
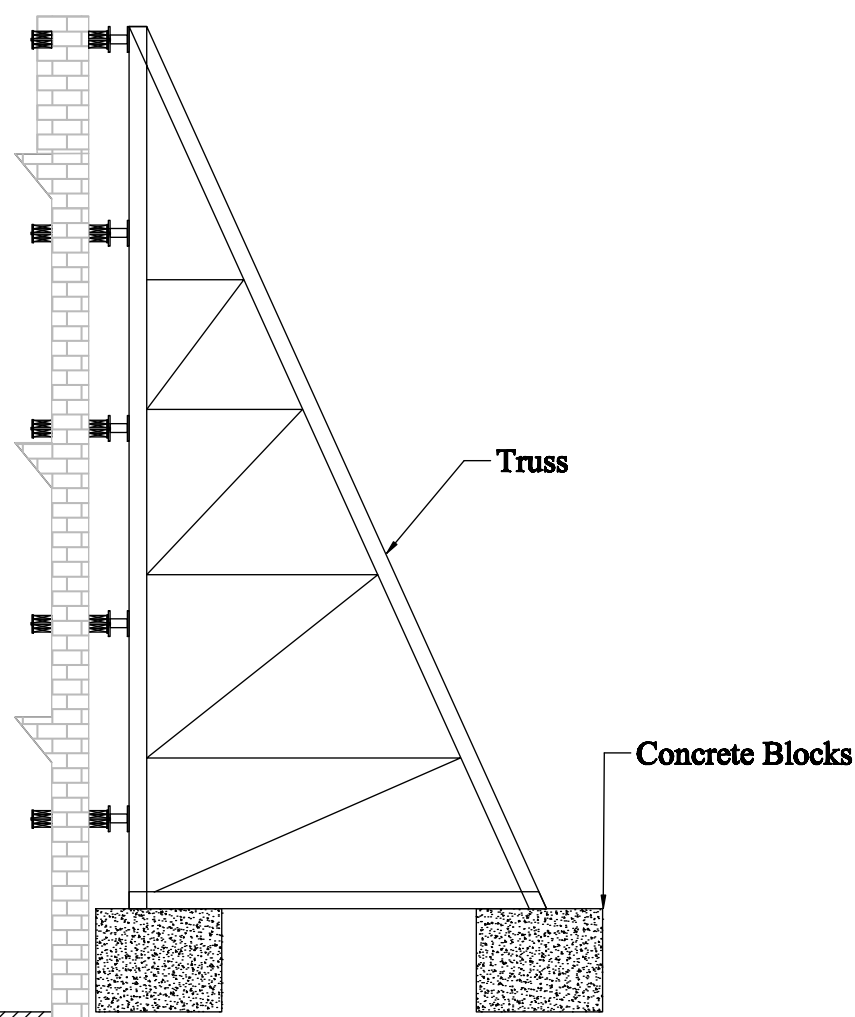
DRAWINGS PRINTED FROM PDF MAY NOT BE TO SCALE

|  |             |                       |                             |     |
|--|-------------|-----------------------|-----------------------------|-----|
|  | SCALE 1:100 | ISSUE: CONCEPT 6/7/11 | CONTENTS:<br>1ST FLOOR PLAN | A02 |
|  | DRAWN ADE   |                       |                             |     |
|  |             |                       |                             |     |

# Connection Detail



← Street Side Building Side →



| Rev | Description | Date | Approved |
|-----|-------------|------|----------|
|     |             |      |          |
|     |             |      |          |
|     |             |      |          |
|     |             |      |          |
|     |             |      |          |

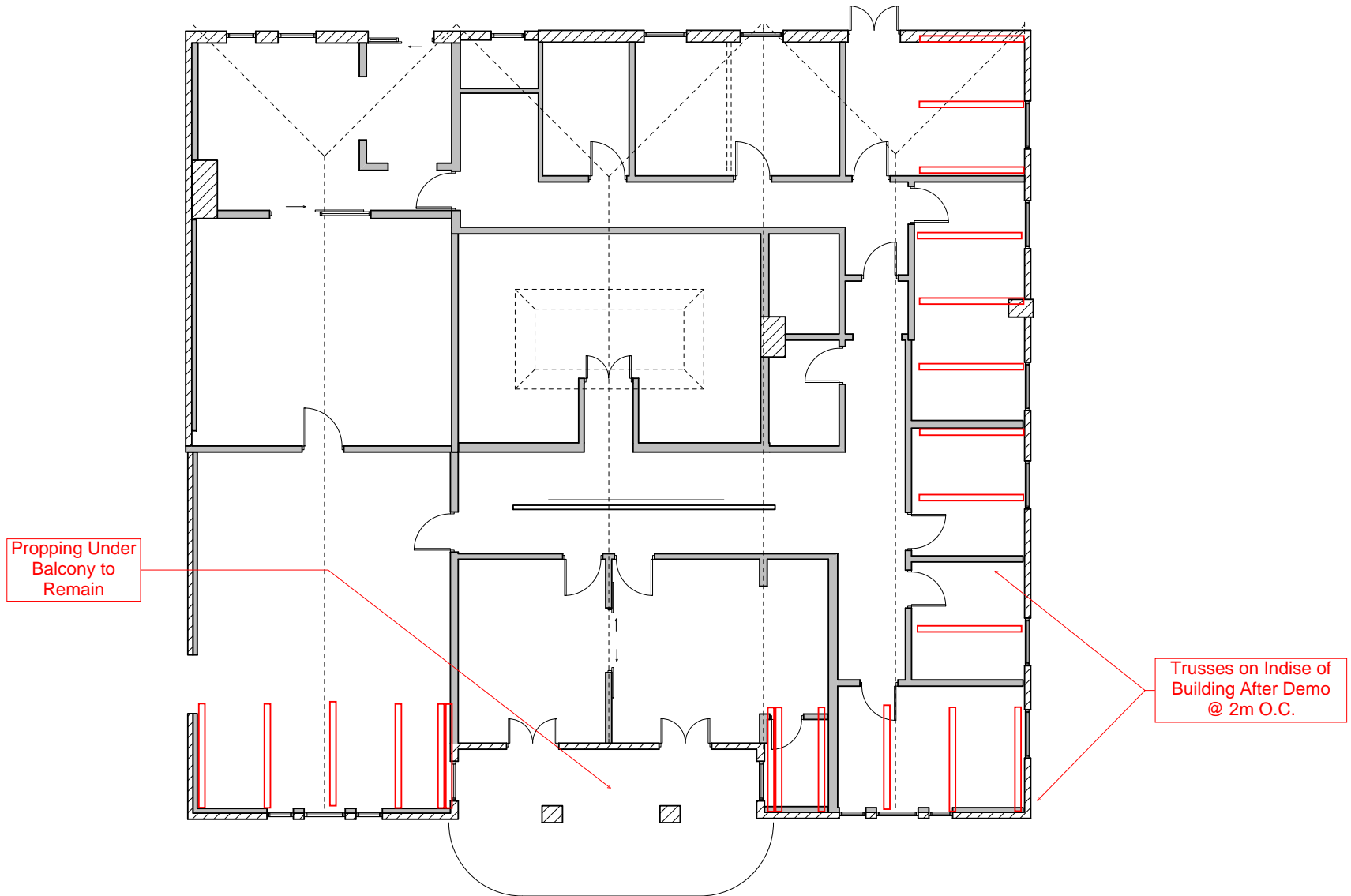
| Project No | Client | Project Name | Scale |
|------------|--------|--------------|-------|
| MDL        | MDL    | MDL          | MDL   |
| MDL        | MDL    | MDL          | MDL   |
| MDL        | MDL    | MDL          | MDL   |

Ceres NZ LLC  
Christchurch, NZ

40 Norwich Quay  
Mirco Tarrant

Facade Stabilization  
Post Demolition

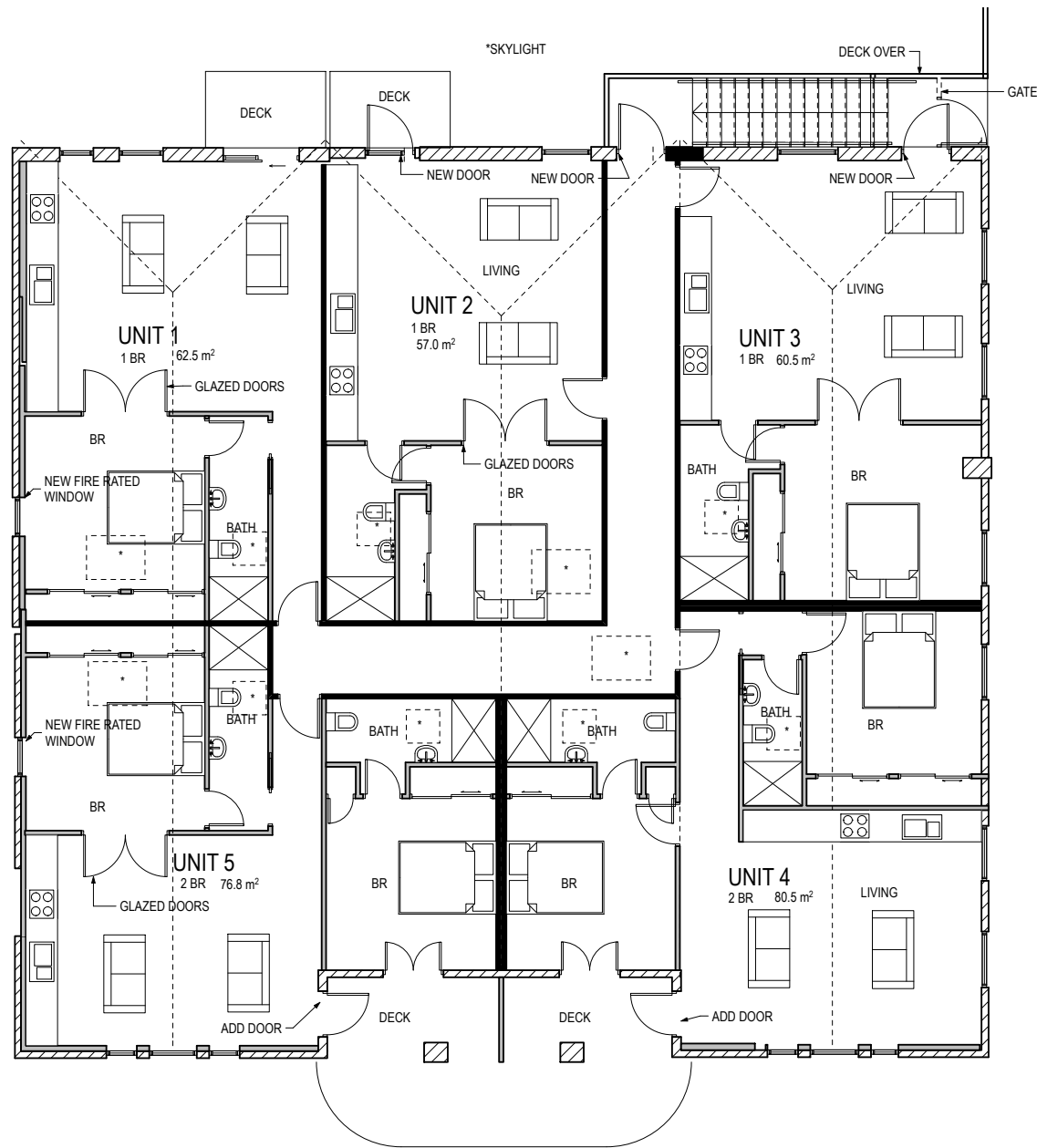
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**S-2**



CONFIRM ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE

DRAWINGS PRINTED FROM PDF MAY NOT BE TO SCALE

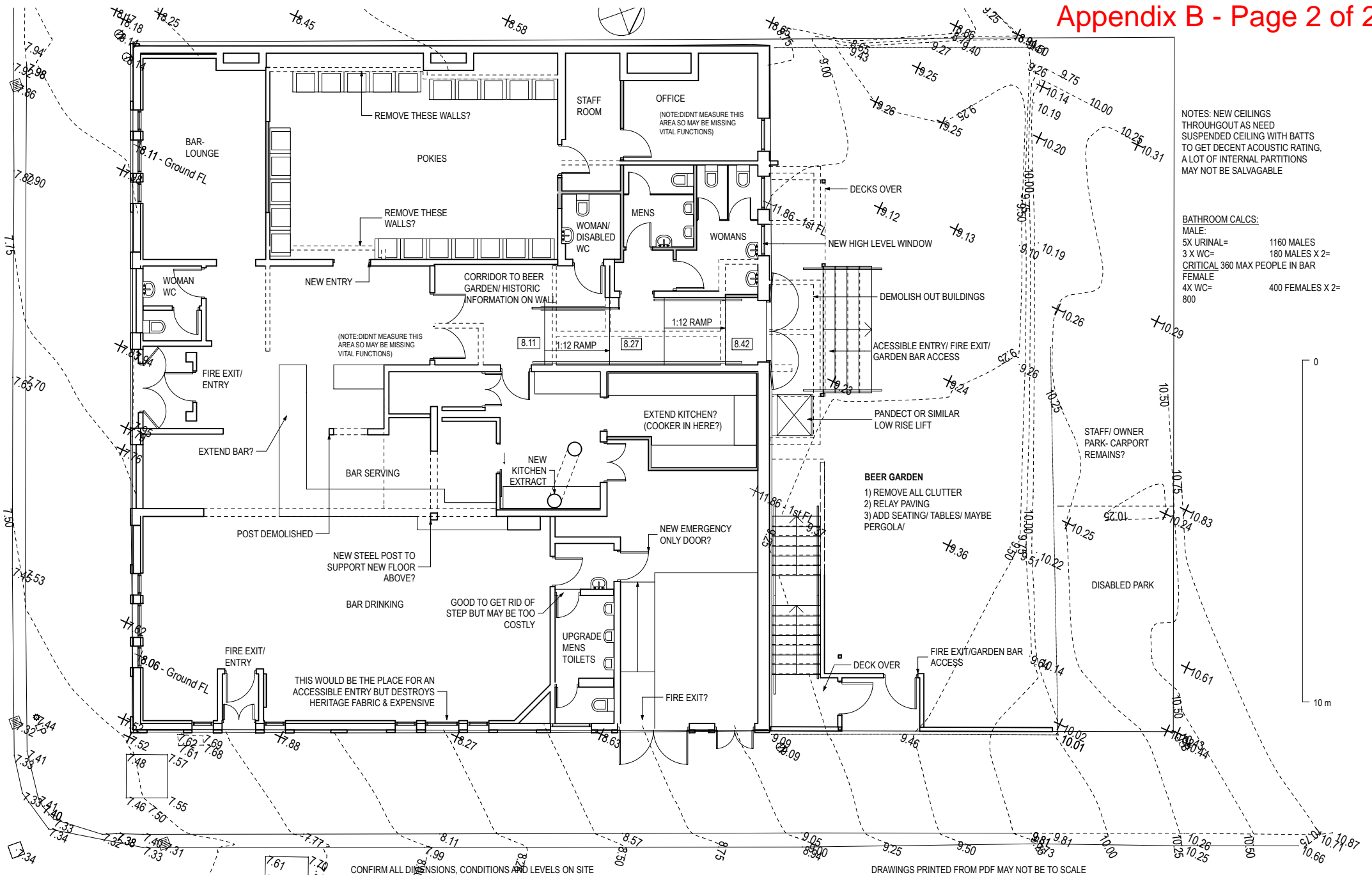
|  |   |                    |                              |  |                   |
|--|---|--------------------|------------------------------|--|-------------------|
| <p><b>AE Architects Limited</b></p> <p>145 High Street, PO Box 22 284, Christchurch 8142<br/>                 Tel. 03 379 9525 Fax. 03 379 6445 Email. aearchitects@intrados.co.nz<br/>                 www.intrados.co.nz</p> | <p><b>DE ZWARTS</b></p> <p>MITRE TAVERN<br/>                 40 NORWICH QUAY, LYTTELTON</p> | <p>SCALE 1:100</p> | <p>ISSUE: CONCEPT 6/7/11</p> | <p>CONTENTS:<br/>                 1ST FLOOR PLAN</p> | <p><b>A02</b></p> |
|  |   | <p>DRAWN ADE</p>   |                              |  |                   |
|  |   |                    |                              |  |                   |
|  |   |                    |                              |  |                   |



CONFIRM ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE

DRAWINGS PRINTED FROM PDF MAY NOT BE TO SCALE

|  |   |   |                                 |  |                   |
|--|---|---|---------------------------------|--|-------------------|
| <p><b>AE Architects Limited</b><br/>         145 High Street, PO Box 22 284, Christchurch 8142<br/>         Tel. 03 379 9525 Fax. 03 379 6445 Email. aearchitects@intrados.co.nz<br/>         www.intrados.co.nz</p> | <p><b>DE ZWARTS</b><br/>         MITRE TAVERN<br/>         40 NORWICH QUAY, LYTTELTON</p> | <p>SCALE 1:100<br/>         DRAWN ADE</p> | <p>ISSUE: BASE PLAN 28/6/11</p> | <p>CONTENTS:<br/>         APARTMENT<br/>         CONCEPT</p> | <p><b>A04</b></p> |
|--|---|---|---------------------------------|--|-------------------|



NOTES: NEW CEILINGS THROUGHOUT AS NEED SUSPENDED CEILING WITH BATTS TO GET DECENT ACOUSTIC RATING. A LOT OF INTERNAL PARTITIONS MAY NOT BE SALVAGABLE

BATHROOM CALCS:  
 MALE:  
 5X URINAL= 1160 MALES  
 3 X WC= 180 MALES X 2= CRITICAL 360 MAX PEOPLE IN BAR  
 FEMALE:  
 4X WC= 400 FEMALES X 2= 800

**BEER GARDEN**  
 1) REMOVE ALL CLUTTER  
 2) RELAY PAVING  
 3) ADD SEATING/ TABLES/ MAYBE PERGOLA/

CONFIRM ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE

DRAWINGS PRINTED FROM PDF MAY NOT BE TO SCALE

**AE Architects Limited**  
 145 High Street, PO Box 22 284, Christchurch 8142  
 Tel. 03 379 9525 Fax. 03 379 6445 Email. aearchitects@intrados.co.nz  
 www.intrados.co.nz

**DE ZWARTS**  
 MITRE TAVERN  
 40 NORWICH QUAY, LYTTTELTON

SCALE 1:100  
 DRAWN ADE

ISSUE: CONCEPT 6/7/11

CONTENTS:  
**BAR CONCEPT**

**A05**

# Appendix C



40 Norwich Quay, Lyttelton 8082, New Zealand

SITE ENTRANCE  
AND EXIT

BRACING AREA  
WITH FOOTPATH CLOSED

Norwich Quay

Lyttelton



28 March 2012

Mitre Tavern,  
40 Norwich Quay,  
Christchurch,  
New Zealand

Attention: Tony Ward

**Re: Make Safe Remedial Works.**  
**Mitre Tavern, 40 Norwich Quay, Christchurch.**

Dear Sir,

Ceres New Zealand are pleased to submit our Preliminary Budget Estimate for the Make Safe Remedial Work at Mitre Tavern, 40 Norwich Quay, Christchurch in the amount of \$108,770.00 + GST (One hundred and eight thousand, seven hundred and seventy dollars)  
Our price is based on our site investigations and reports written by Miyamoto+Cardno.

**Scope of Works.**

1. We have allowed to prop front balcony with 150x50mm timber, with studs at 600mm crs and nogs at 800mm crs.
2. We have allowed to supply and install 18mm galvanized threaded rod at 800mm crs as wall ties, including round plate to exterior envelope. We have allowed to install ties to first floor & ceiling exterior wall junction on North, East and South faces as demonstrated on the West wall.
3. We have allowed to cut back any remaining floor or ceiling surface claddings to max 2m parallel to the exterior envelope perimeter to enable access to install ties. We have not allowed to reinstate these surfaces.
4. We have allowed to solid block between existing joists to the perimeter of the effected wall / floor junctions. We have allowed to complete this within a 1 meter width off the perimeter envelope.
5. We have allowed to add 10m of timber plywood bracing to the inside of the front elevation of ground floor tied to ground and first floors. We have allowed to remove interior wall cladding to achieve this, however we have not allowed to make good any structure.

**FLORIDA | LOUISIANA | MINNESOTA | TEXAS | PUERTO RICO | HAITI | NEW ZEALAND**

Unit 14, 212 Antigua Street, Christchurch, New Zealand | Office: +64.3.420.1655

ceresnz.co.nz.





Ceres New Zealand LLC

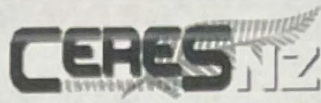
#### Tender Clarifications.

6. Access to be available during standard work week and weekends as required. No allowance for staged work.
7. No allowance for Removal of any contaminant as defined by the Resource Management Act.
8. We have not included for work including or associated with making the building envelope water tight.
9. No allowance for council or general services upgrades.
10. No allowance to make good concrete slab to rear courtyard.
11. We assume there is sufficient services to ensure builders temporary supplies can be established.
12. No allowance for work included or associated with Gas.
13. No allowance for movement of equipment or stock still in the building.
14. No allowance for work included or associated with windows or doors.
15. No allowance for fire protection, fire collars or fire retardant sealants.
16. No allowance for traffic management, remedial works to crossings, remedial works to existing boundary fences.
17. No allowance for work to exterior deck or parapets.
18. No allowance to remediate exposed reinforcing or cracking to concrete or masonry.
19. Special works, additional foundations or ground stabilisation as a result of unstable ground determined by Geotech inspection or uncovered/discovered during/by excavation will be additional to this tender. We recommend Geotech inspections are completed to assess the bearing capacity of the existing footings and subfloor structure. We have not allowed to remediate footings and the like.
20. Any existing services not shown or specified on reports provided to us that are uncovered at the time of excavation that require redirection, modification or repair will be additional to this quotation. (Includes Power, sewer, storm water, gas, water, data, telephone, communications etc)
21. If after the date of the tender closing/being accepted the making of any statute, regulation or bylaw increases the cost of us performing this contract, such increase shall be passed on at cost additional to this contract price.
22. Council fees, surveyor or other professional fees by the property owner or their agents. i.e: Council Consent fees and local authority fees.
23. We assume services are fully disconnected on site.
24. This Preliminary Budget Estimate is dependent on Miyamoto + Cardno final design.
25. No allowance for any refurbishment work, furniture, fittings or fixtures.
26. No allowance for work included or associated with roof or roof structure.
27. Any work not referred to and/or not included in the preliminary documents as presented to us is deemed to be not included.
28. Any additional requirements as a result of council requirements or added after tender close will be additional to this tender price
29. All figures exclude GST. GST will be as per Government regulation at the time. GST is subject to change as per Government regulation.
30. Any overdue amounts as defined under the Construction Contracts Act 2002 will be charged at 5% per month. All legal and collection agency fees and costs are fully recoverable.
31. Ceres New Zealand has a complete set of terms and conditions that this sale is subject to and are available upon request by fax or email.
32. All works are as stated in attached summary and scope and to be read in conjunction with the above clarifications.
33. Tender valid for 30 days

**FLORIDA | LOUISIANA | MINNESOTA | TEXAS | PUERTO RICO | HAITI | NEW ZEALAND**

Unit 14, 212 Antigua Street, Christchurch, New Zealand | Office: +64.3.420.1655

[ceresnz.co.nz](http://ceresnz.co.nz)



Ceres New Zealand LLC

We thank you for the opportunity to tender for this work, should you wish to discuss any of the above please contact the writer.

Yours Faithfully

A handwritten signature in black ink, appearing to read "Mark Luckhardt".

Mark Luckhardt  
Project Engineer

**FLORIDA | LOUISIANA | MINNESOTA | TEXAS | PUERTO RICO | HAITI | NEW ZEALAND**

Unit 14, 212 Antigua Street, Christchurch, New Zealand | Office: +64.3.420.1655

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## Budget Estimate

## Trade Summary

Contract: **MAKE SAFE REINSTATEMENT WORKS**  
Location: 40 Norwich Quay, Lyttleton  
Principal: Tony Ward  
Designer: Miyamoto+Cardno  
Tenderer: **Ceres NZ LLC**

|      |                             |           |
|------|-----------------------------|-----------|
| 1.00 | Preliminary & General       | 14,245.00 |
| 2.00 | Demolition / Deconstruction | 9,266.40  |
| 3.00 | Carpentry                   | 72,212.45 |

**Subtotal:** 95,723.85

Margin 13,046.15

**TENDER TOTAL (excl. GST)** 108,770.00

Thursday 20<sup>th</sup> November 2014

Tony Ward  
Address

**Property:** Mitre Hotel, Lyttelton, Canterbury

Dear Mr Ward,

Please find attached an estimate for the rebuild of the above structure following the severe damage caused by the September 2010, the February 2011 and the June 2011 earthquake events.

This cost is an estimate only due to unknown factors yet to be considered. For example, Detailed Engineers reports, Geotechnical reports, Council Consents, Architectural Drawings etc.

Yours sincerely,

Anthony Wheeler  
Managing Director  
Wheeler's Limited



|                 |   |
|-----------------|---|
| <b>Job:</b>     | MITRE   |
| <b>Name:</b>    | Tony Ward   |
| <b>Address:</b> | 40 Norwich Quay - Functional replacement<br>Lyttelton |

## Element: Foundation

49000 NEW BUILD

| Item                            | Description | Qty       | Unit                |
|---------------------------------|-------------|-----------|---------------------|
|                                 | Build       | 1         | SUM                 |
|                                 |             | NEW BUILD | <b>\$332,039.83</b> |
| Element: Foundation - Sub Total |             |           | <b>\$332,039.83</b> |

## Element: Framming

49000 NEW BUILD

| Item                          | Description | Qty       | Unit                |
|-------------------------------|-------------|-----------|---------------------|
|                               | Build       | 1         | SUM                 |
|                               |             | NEW BUILD | <b>\$357,646.56</b> |
| Element: Framming - Sub Total |             |           | <b>\$357,646.56</b> |

## Element: Insulation

49000 NEW BUILD

| Item                            | Description | Qty       | Unit               |
|---------------------------------|-------------|-----------|--------------------|
|                                 | Build       | 1         | SUM                |
|                                 |             | NEW BUILD | <b>\$85,169.26</b> |
| Element: Insulation - Sub Total |             |           | <b>\$85,169.26</b> |

## Element: Internal Lining

49000 NEW BUILD

| Item                                 | Description | Qty       | Unit                |
|--------------------------------------|-------------|-----------|---------------------|
|                                      | Build       | 1         | SUM                 |
|                                      |             | NEW BUILD | <b>\$191,449.18</b> |
| Element: Internal Lining - Sub Total |             |           | <b>\$191,449.18</b> |

## Element: Internal Finish

49000 NEW BUILD

| Item                                 | Description | Qty       | Unit                |
|--------------------------------------|-------------|-----------|---------------------|
|                                      | Build       | 1         | SUM                 |
|                                      |             | NEW BUILD | <b>\$162,370.03</b> |
| Element: Internal Finish - Sub Total |             |           | <b>\$162,370.03</b> |

## Element: External Lining & Finish

| Item  | Description | Qty | Unit      | Price               |
|---|-------------|-----|-----------|---------------------|
| 49000   | NEW BUILD   |     |           |                     |
|   | Build       | 1   | SUM       |                     |
|   |             |     | NEW BUILD | <b>\$161,117.94</b> |
| Element: External Lining & Finish - Sub Total |             |     |           | <b>\$161,117.94</b> |

## Element: Roof

| Item                      | Description | Qty | Unit      | Price               |
|---------------------------|-------------|-----|-----------|---------------------|
| 49000                     | NEW BUILD   |     |           |                     |
|                           | Build       | 1   | SUM       |                     |
|                           |             |     | NEW BUILD | <b>\$346,063.20</b> |
| Element: Roof - Sub Total |             |     |           | <b>\$346,063.20</b> |

## Element: Door and Window

| Item                                 | Description | Qty | Unit      | Price               |
|--------------------------------------|-------------|-----|-----------|---------------------|
| 49000                                | NEW BUILD   |     |           |                     |
|                                      | Build       | 1   | SUM       |                     |
|                                      |             |     | NEW BUILD | <b>\$201,870.20</b> |
| Element: Door and Window - Sub Total |             |     |           | <b>\$201,870.20</b> |

## Element: Floor covering

| Item                                | Description | Qty | Unit      | Price              |
|-------------------------------------|-------------|-----|-----------|--------------------|
| 49000                               | NEW BUILD   |     |           |                    |
|                                     | Build       | 1   | SUM       |                    |
|                                     |             |     | NEW BUILD | <b>\$86,515.80</b> |
| Element: Floor covering - Sub Total |             |     |           | <b>\$86,515.80</b> |

## Element: Sanitary

| Item                          | Description | Qty | Unit      | Price               |
|-------------------------------|-------------|-----|-----------|---------------------|
| 49000                         | NEW BUILD   |     |           |                     |
|                               | Build       | 1   | SUM       |                     |
|                               |             |     | NEW BUILD | <b>\$201,870.20</b> |
| Element: Sanitary - Sub Total |             |     |           | <b>\$201,870.20</b> |

## Element: Bar and Restaurant

| Item  | Description | Qty | Unit      | Price               |
|-------|-------------|-----|-----------|---------------------|
| 49000 | NEW BUILD   |     |           |                     |
|       | Build       | 1   | SUM       |                     |
|       |             |     | NEW BUILD | <b>\$211,870.20</b> |

Element: Bar and Restaurant - Sub Total **\$211,870.20**

## Element: Hot & Cold Water System

49000 NEW BUILD

| Item   | Description | Qty | Unit               |
|--|-------------|-----|--------------------|
|  | Build       | 1   | SUM                |
|  |             |     | NEW BUILD          |
|  |             |     | <b>\$49,086.90</b> |
| Element: Hot & Cold Water System - Sub Total |             |     | <b>\$49,086.90</b> |

## Element: Plumbing

49000 NEW BUILD

| Item                          | Description | Qty | Unit                |
|-------------------------------|-------------|-----|---------------------|
|                               | Build       | 1   | SUM                 |
|                               |             |     | NEW BUILD           |
|                               |             |     | <b>\$101,916.42</b> |
| Element: Plumbing - Sub Total |             |     | <b>\$101,916.42</b> |

## Element: Electrical

49000 NEW BUILD

| Item                            | Description | Qty | Unit               |
|---------------------------------|-------------|-----|--------------------|
|                                 | Build       | 1   | SUM                |
|                                 |             |     | NEW BUILD          |
|                                 |             |     | <b>\$52,932.38</b> |
| Element: Electrical - Sub Total |             |     | <b>\$52,932.38</b> |

## Element: Landscaping & External

49000 NEW BUILD

| Item  | Description | Qty | Unit                |
|---|-------------|-----|---------------------|
|   | Build       | 1   | SUM                 |
|   |             |     | NEW BUILD           |
|   |             |     | <b>\$121,053.37</b> |
| Element: Landscaping & External - Sub Total |             |     | <b>\$121,053.37</b> |

## Element: Preliminary and General

49000 NEW BUILD

| Item   | Description | Qty | Unit                |
|--|-------------|-----|---------------------|
|  | Build       | 1   | SUM                 |
|  |             |     | NEW BUILD           |
|  |             |     | <b>\$220,888.53</b> |
| Element: Preliminary and General - Sub Total |             |     | <b>\$220,888.53</b> |

## Element: Demolition

49000 NEW BUILD

| Item | Description | Qty | Unit |
|------|-------------|-----|------|
|      | Build       | 1   | SUM  |



**Wheeler's Ltd**  
**Quote By Elements**

Wednesday, 3 December 2014

|   |                                 |                       |
|---|---------------------------------|-----------------------|
|   | NEW BUILD                       | <b>\$150,000.00</b>   |
|   | Element: Demolition - Sub Total | <b>\$150,000.00</b>   |
|   | GST @ 15.00%                    | <b>\$455,079.00</b>   |
| <b>Tony Ward / 40 Norwich Quay - Functional replacement</b> | <b>Lyttelton - TOTAL</b>        | <b>\$3,488,939.00</b> |



Thursday 20<sup>th</sup> November 2014

Tony Ward  
Address

**Property:** Mitre Hotel, Lyttelton, Canterbury

Dear Mr Ward,

Please find attached an estimate for the rebuild of the above structure following the severe damage caused by the September 2010, the February 2011 and the June 2011 earthquake events.

This cost is an estimate only due to unknown factors yet to be considered. For example, Detailed Engineers reports, Geotechnical reports, Council Consents, Architectural Drawings etc.

Yours sincerely,

Anthony Wheeler  
Managing Director  
Wheeler's Limited

Thursday 20<sup>th</sup> November 2014

Tony Ward  
Address

**Property:** Mitre Hotel, Lyttelton, Canterbury

Dear Mr Ward,

Please find attached an estimate for the repair of the cosmetic and chimney damage sustained in the September 2010 earthquake.

These estimated repair costs have been prepared based on the Scope of Works received by The Earthquake Commission on the 31<sup>st</sup> January 2011 only.

Yours sincerely,

Anthony Wheeler  
Managing Director  
Wheeler's Limited

*1st Scope  
EQC partly covered 1st floor*

*There was ground floor  
damage in the pub as well.*

*see supporting photos, IAG assess*

*3 full cap claims.*

*EQC assessed Sept damage > \$100k + GST  
200k + GST*

*Clearly they assessed both floors. Building  
with up to 50% residential are treated as  
residential under the EQC act*



**Job:** MITRE1  
**Name:** Tony Ward  
**Address:** 40 Norwich Quay - September event  
Lyttelton

## Element: Repair

**18000 INTERNAL AREA**

| Item | Description                         | Qty | Unit |
|------|-------------------------------------|-----|------|
|      | Repair                              | 1   | SUM  |
|      | EQ damage repair to September event |     |      |

**INTERNAL AREA \$92,715.77**

**Element: Repair - Sub Total \$92,715.77**

**GST @ 15.00% \$13,907.37**

**Tony Ward / 40 Norwich Quay - September event Lyttelton - TOTAL \$106,623.14**

Thursday 20<sup>th</sup> November 2014

Tony Ward  
Address

**Property: Mitre Hotel, Lyttelton, Canterbury**

Dear Mr Ward,

Please find attached an estimate for the repair of the damage sustained in the February 2011 earthquake.

Due to the severe structural damage sustained as a result of this earthquake, the building was deemed unsafe to enter to categorise the nature of the damage at the time.

Therefore the estimated costs of the repairs to be done as a result of this earthquake have been estimated from the Scope of Works received by the Earthquake Commission 18 months further on, on the 18<sup>th</sup> June 2012. These costs also include only a basic Engineers report, suggesting a more detailed Engineers report will be required before repairs begin.

As this Scope of Works was not done until this late stage, the original overall estimated repair costs have been split to allow for the further damage done by the June 2011 earthquake event.

Yours sincerely,

Anthony Wheeler  
Managing Director  
Wheeler's Limited



**Wheeler's Ltd**  
**Quote By Elements**

Thursday, 20 November 2014

**Job:** MITRE2  
**Name:** Tony Ward  
**Address:** 40 Norwich Quay - February event  
Lyttelton

## Element: Repair

**18000 INTERNAL AREA**

| Item | Description                        | Qty | Unit |
|------|------------------------------------|-----|------|
|      | Repair                             | 1   | SUM  |
|      | EQ damage repair to February event |     |      |

**INTERNAL AREA \$2,653,158.97**

**Element: Repair - Sub Total \$2,653,158.97**

**GST @ 15.00% \$397,973.85**

**Tony Ward / 40 Norwich Quay - February event Lyttelton - TOTAL \$3,051,132.82**

Thursday 20<sup>th</sup> November 2014

Tony Ward

Address

**Property: Mitre Hotel, Lyttelton, Canterbury**

Dear Mr Ward,

Please find attached an estimate for the repair of the damage sustained in the June 2011 earthquake.

Due to the severe structural damage sustained as a result of the February 2011 earthquake, the building was deemed unsafe to enter to categorise the nature of the further damage caused by this event.

Therefore the estimated costs of the repairs to be done as a result of this earthquake have been estimated from the Scope of Works received by the Earthquake Commission 18 months further on, on the 18<sup>th</sup> June 2012. These costs also include only a basic Engineers report, suggesting a more detailed Engineers report will be required before repairs begin.

As this Scope of Works was not done until this late stage, the original overall estimated costs have been split to allow for the further damage created from this event.

Yours sincerely,

Anthony Wheeler  
Managing Director  
Wheeler's Limited

Job: MITRE3  
Name: Tony Ward  
Address: 40 Norwich Quay - June event  
Lyttelton

## Element: Repair

18000 INTERNAL AREA

| Item | Description                    | Qty | Unit |
|------|--------------------------------|-----|------|
|      | Repair                         | 1   | SUM  |
|      | EQ damage repair to June event |     |      |

INTERNAL AREA **\$279,925.27**

Element: Repair - Sub Total **\$279,925.27**

GST @ 15.00% **\$41,988.79**

**Tony Ward / 40 Norwich Quay - June eventLyttelton - TOTAL \$321,914.06**



|                 |   |
|-----------------|---|
| <b>Job:</b>     | MITRE   |
| <b>Name:</b>    | Tony Ward   |
| <b>Address:</b> | 40 Norwich Quay - Functional replacement<br>Lyttelton |

## Element: New Build

**49000 NEW BUILD**

| Item | Description  | Qty                            | Unit                  |
|------|--|--------------------------------|-----------------------|
|      | Build  | 1                              | SUM                   |
|      |  | NEW BUILD                      | <b>\$2,883,860.00</b> |
|      |  | Element: New Build - Sub Total | <b>\$2,883,860.00</b> |
|      |  | GST @ 15.00%                   | <b>\$432,579.00</b>   |
|      | <b>Tony Ward / 40 Norwich Quay - Functional replacementLyttelton - TOTAL</b> |                                | <b>\$3,316,439.00</b> |



9 May 2017

023303001

**De Zwart Properties Ltd  
PO Box 19818  
CHRISTCHURCH**

Attention: Tony Ward

Dear Tony,

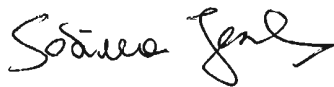
**RE: MITRE HOTEL - 40 NORWICH QUAY, LYTTELTON - REBUILD ESTIMATE**

As requested, we are pleased to enclose herewith the proposed Rebuild Estimate in connection with the above property for your retention.

We trust the foregoing will meet your present requirements. Please do not hesitate to contact us if you need further information / clarification.

Yours faithfully,  
**Prendos New Zealand Limited**

*Prepared by:*



Sabina Jereb, NZIQS (Affil.)

**QUANTITY SURVEYOR**

*Reviewed by:*



Rory Crosbie

BSc (Hons) FRICS MNZIBS

**CHARTERED AND REGISTERED  
BUILDING SURVEYOR**

PRENDOS New Zealand Limited

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## TABLE OF CONTENTS

### General information

|                                    |   |
|------------------------------------|---|
| 1. Brief description of works..... | 3 |
| 2. Scope of services.....          | 3 |
| 3. Basis of Estimate.....          | 3 |
| 4. Value.....                      | 5 |
| 5. Limitations .....               | 5 |

**Appendix A:** Proposed Rebuild Estimate

**Appendix B:** Schedule of documents

## **GENERAL INFORMATION**

### **1.0 Brief description of works**

This rebuild estimate is for the Mitre Hotel, historic heritage property at 40 Norwich Quay, Lyttelton.

To the south and east the building borders the public street pavement, to the west the neighbour's courtyard and to the north the enclosed back yard area with simple garage and woodshed. An elevated timber deck is attached at the first floor level. The moderately steep site is sloping south.

The building has three stories, basement, ground and first floor. The basement does not extend over the full footprint of the building. On the ground floor is the restaurant and bar area. The first floor contains the motel bedrooms and the proprietor's apartment.

The current building has a concrete floor and concrete external walls. The cladding is coloured plaster finish. Front entrance, first floor balcony and many ornamental features are dominating the south elevation. Multi-pitched metal clad roof is generally raking north. The joinery is mostly timber throughout. Nicely carved staircases, timber panelling in the first floor hallway and fireplaces are typical of the period.

### **2.0 Scope of services**

Our estimate is prepared as per clients instructions, which is to estimate the value of rebuilding the Motel to match the existing, built as per current standards and regulations. Included in our rebuild estimate are allowances for demolition of existing structures and external works. Allowances for services and fire protection are estimated to comply with current regulations.

### **3.0 Basis of estimate**

The following has been reviewed and considered when preparing this estimate:

- Basic concept issue drawings of current construction (floor plans only) prepared by AE Architects Ltd, dated 6/7/2011
- Historic EQC notes provided by the client
- Photos taken by a former employee of Prendos, Andrew Pollock
- Some of the reports, listed on the attached schedule of documents, and previous estimates, all provided by the client

At this stage no detailed design has been prepared. We have therefore based our estimate on the above mentioned drawings, reports and photos. As the provided documentation only provides an outline of the building, this estimate is to be considered as a high level desktop estimate only. We prepared the estimate based on our professional experience from similar projects.

The following assumptions have been made:

- Slab-on-grade, perimeter foundation and thickenings under the load bearing walls to the basement and ground floor (GF)
- Concrete slab above the basement
- Concrete floor above GF including the extension and the balcony
- Concrete block external walls to the basement, GF and first floor (FF)
- Concrete beams and columns to the GF
- Trusses to the roof
- Ply diaphragm in the FF
- Block load-bearing internal walls to the GF
- Timber non load-bearing internal walls to the GF and all internal walls to the FF
- Multi-pitched metal roofing with butynol lined internal gutters to the main part and butynol roofing to the extension and the balcony
- Timber stairs to the basement and to the extension
- External and internal timber joinery throughout
- Plaster finish cladding to mirror current features as per heritage requirements
- Plasterboard to all internal walls
- Suspended ceilings to the GF, plasterboard ceiling to the FF
- Strapping with EPS insulation to inside of block walls
- Insulation to roofs
- Acoustic insulation between the GF and FF
- Provisions for fire protection and accessibility as per current regulations
- External walkway and ladders would not be required any more (subject to heritage requirements)
- Three fireplaces and chimneys are considered (exact number TBC)
- Allowance for coolroom is considered (TBC)
- No ground improvements have been considered as no geotechnical reports provided

All external areas to the north are considered to be replaced. Assumptions in our estimate and the allowances outlined above may require further adjusting during the claim settlement process.

We have further included allowances for:

- Preliminary and General items of 7%,
- Profit and attendance on subcontractors of 7%,
- Design and construction contingency allowance of 5%,
- A sum for professional fees of 8%,
- A sum for statutory fees.

#### **4.0 Value**

We have estimated the works described under items 2.0 and 3.0 to be:

- **\$ 3,188,456** excl. GST

Please find the rebuild estimate in Appendix A. We draw your attention to page 2 of the estimate for standard and special exclusions.

#### **5.0 Limitations**

This estimate has been produced for the strict and sole use of and benefit of the addressee and their legal advisor(s). It is not to be duplicated, disseminated or in any other way replicated without the express approval of the writer. This estimate has been produced in accordance with our letter of engagement incorporating all terms and conditions stated herein.

The author(s) of this estimate where they use the singular phrase "I" or the plural "we" or similar phraseology, are referring to their role acting on behalf of Prendos New Zealand Ltd, not as individuals.

**APPENDIX A: Proposed Rebuild Estimate**

## Mitre Hotel - Rebuild Estimate

| Code | Description                           | Quantity | Unit | Total   |
|------|---------------------------------------|----------|------|---------|
|      | <b>Mitre Hotel Lyttelton</b>          |          |      |         |
|      | <b>Rebuild Estimate</b>               |          |      |         |
|      | Demolition and Traffic management     |          |      | 205,725 |
|      | Site preparation                      |          |      | 42,274  |
|      | Substructure                          |          |      | 114,055 |
|      | Structure                             |          |      | 400,119 |
|      | Carpentry                             |          |      | 252,022 |
|      | External Joinery                      |          |      | 122,465 |
|      | Joinery                               |          |      | 221,750 |
|      | Cladding                              |          |      | 107,200 |
|      | Roof                                  |          |      | 79,495  |
|      | Coolroom                              |          |      | 26,825  |
|      | Plumbing and fittings                 |          |      | 113,605 |
|      | Drainage                              |          |      | 31,285  |
|      | Heating, ventilation and A/C          |          |      | 141,580 |
|      | Fire Protection                       |          |      | 105,500 |
|      | Electrical services and fittings      |          |      | 126,200 |
|      | Plasterboard linings                  |          |      | 105,029 |
|      | Floor Coverings                       |          |      | 20,586  |
|      | Painting and specialist finishes      |          |      | 96,865  |
|      | Scaffold and edge protection          |          |      | 74,060  |
|      | External works                        |          |      | 57,558  |
|      | <b>Total</b>                          |          |      |         |
|      | Preliminary and General               | 7        | %    | 171,094 |
|      | Margin (attendance on subcontractors) | 7        | %    | 183,070 |
|      | Construction Contingency              | 5        | %    | 130,765 |
|      | Professional fees                     | 8        | %    | 234,330 |
|      | Building Consent Fees                 |          |      | 25,000  |

## Mitre Hotel - Rebuild Estimate

| Code | Description   | Quantity | Unit | Total     |
|------|---|----------|------|-----------|
|      | <b>Total EQR Estimate (exclusive of GST):</b>   |          |      | 3,188,456 |
|      | GST   | 15       | %    | 478,268   |
|      | <b>Total EQR Estimate (inclusive of GST):</b>   |          |      | 3,666,725 |
|      | <b>STANDARD EXCLUSIONS</b>  |          |      |           |
|      | Price escalation & Demand surge.  |          |      |           |
|      | Finance costs.  |          |      |           |
|      | Holding costs including rates, taxes and related outgoings.                                     |          |      |           |
|      | Land and legal costs.   |          |      |           |
|      | Prendos NZ Ltd fees to date.  |          |      |           |
|      | Negotiation with Insurer.   |          |      |           |
|      | Depreciation.   |          |      |           |
|      | Temporary accommodation.  |          |      |           |
|      | Relocation, temporary storage and disruption costs for the duration of the construction period. |          |      |           |
|      | Ground strengthening and land remediation works, other than noted.                              |          |      |           |
|      | Development costs, general costs and capitalised interest calculations                          |          |      |           |
|      | Statutory authority charges including all utility providers other than noted.                   |          |      |           |
|      | After hours works.  |          |      |           |
|      | Staging.  |          |      |           |
|      | Consequential loss.   |          |      |           |
|      | Betterment.   |          |      |           |
|      | New furnishing and fittings other than noted.   |          |      |           |
|      | Contracts work insurance.   |          |      |           |
|      | <b>SPECIAL EXCLUSIONS</b>   |          |      |           |
|      | Handling asbestos.  |          |      |           |
|      | Ground water and temporary dewatering.  |          |      |           |
|      | Contamination of soil.  |          |      |           |
|      | Ground strengthening.   |          |      |           |
|      | Cooperation with neighbours on access.  |          |      |           |



**Mitre Hotel - Rebuild Estimate**

| Code | Description   | Quantity | Unit | Total |
|------|---|----------|------|-------|
|      | <p>Internal signage.</p> <p>Audio system.</p> <p>Carpets (contents insurance).</p> <p>Curtains, blinds, fixtures other than noted.</p> <p>Special locking (master keys, etc).</p> <p>Any lift to FF.</p> <p><b>NOTES</b></p> <p>External walkway and ladders would not be required any more (subject to heritage requirements).</p> <p>Three fireplaces and chimneys are considered (exact number TBC).</p> <p>Allowance for coolroom is considered (TBC).</p> <p>To be read in conjunction with the attached cover letter, especially in regard to exclusions.</p> |          |      |       |

## Mitre Hotel - Rebuild Estimate

| Description  | Quantity | Unit | Rate      | Amount     | Comments   |
|--|----------|------|-----------|------------|--|
| <b>DEMOLITION</b>  |          |      |           |            |  |
| Disconnect services to allow demolition and groundworks to be undertaken. Incl. making safe as required  | 1.00     | P/S  | 2,900.00  | 2,900.00   |  |
| Careful demolition of heavy-weight 2-storey commercial property incl. basement and ancillary structures. Restricted access, hilly site. Including external areas | 807.00   | m2   | 155.00    | 125,085.00 | Public and neighbouring property to 3 sides and small yard at the back.    |
| E/o for temporary supports   | 1.00     | P/S  | 7,500.00  | 7,500.00   |  |
| Protect/maintain/temporary relocate services and street lighting   | 1.00     | P/S  | 10,000.00 | 10,000.00  |  |
| Make good neighbouring properties  | 1.00     | P/S  | 5,000.00  | 5,000.00   | No allowance for negotiation   |
| Break as necessary and reinstate public footpath   | 120.00   | m2   | 127.00    | 15,240.00  | Including kerbs  |
| <b>Traffic Management</b>  |          |      |           |            |  |
| E/o for Traffic management during demolition and construction works  | 1.00     | P/S  | 35,000.00 | 35,000.00  | Including TM plan, statutory fees, hoardings                               |
| E/o for elevated site safe measures  | 1.00     | P/S  | 5,000.00  | 5,000.00   | Close proximity street and neighbours                                      |
| <b>SITE PREPARATION</b>  |          |      |           |            |  |
| Sediment control   | 1.00     | P/S  | 5,000.00  | 5,000.00   |  |
| Site clearance - prepare to receive new foundation   | 390.00   | m2   | 0.00      | 0.00       | Not considered as new hard-fill considered below                           |
| Extra excavation for new basement and retaining walls, including cart away   | 122.00   | m3   | 52.15     | 6,362.30   |  |
| E/o for temporary retaining of soils   | 1.00     | P/S  | 7,500.00  | 7,500.00   | Retaining walls, for basement considered extra excavation                  |
| Engineered compacted hard-fill including excavation for basement and GF  | 116.60   | m3   | 111.85    | 13,041.49  | Subject to geotechnical engineer's recommendations. 300mm considered       |
| Backfill behind basement and retaining walls and compact   | 122.00   | m3   | 85.00     | 10,370.00  | Including drainage fill where necessary                                    |
| <b>SUBSTRUCTURE</b>  |          |      |           |            |  |
| Concrete slab on ground 150mm incl.sand blinding, construction joints, etc; to GF and basement   | 388.65   | m2   | 130.00    | 50,524.89  | No allowance for enhanced foundation. Subject to engineers recommendations |
| E/o for slab thickenings, pads   | 1.00     | P/S  | 16,000.00 | 16,000.00  |  |

## Mitre Hotel - Rebuild Estimate

| Description  | Quantity | Unit | Rate      | Amount     | Comments                                |
|--|----------|------|-----------|------------|---|
| Perimeter foundation to GF and basement<br>(Continued)                             | 113.00   | m    | 362.39    | 40,949.96  |   |
| Drainage & plumbing in the slab  | 388.65   | m2   | 15.00     | 5,829.80   |   |
| E/o for delivery ramp  | 1.00     | Item | 750.00    | 750.00     |   |
| <b>STRUCTURE</b>   |          |      |           |            |   |
| <b>Concrete works</b>  |          |      |           |            |   |
|  |          |      |           |            | All subject to engineer's design        |
| Suspended concrete slab above basement   | 53.86    | m2   | 300.00    | 16,158.00  | In-situ considered                      |
| Suspended concrete slab above GF, including cantilevered balcony                   | 377.00   | m2   | 220.00    | 82,940.00  | Precast                                 |
| Suspended concrete slab to rear extension  | 12.13    | m2   | 280.00    | 3,396.40   | In-situ considered                      |
| Allowance for Concrete columns   | 105.00   | m    | 360.00    | 37,800.00  | In-situ considered                      |
| Allowance for Concrete beams   | 77.53    | m    | 400.00    | 31,012.00  | In-situ considered                      |
| Precast concrete arches to front   | 4.00     | Item | 2,200.00  | 8,800.00   |   |
| Precast concrete balustrade to balcony   | 9.62     | m    | 900.00    | 8,658.00   |   |
| E/o for connections and other structural elements designed by structural engineer  | 1.00     | P/S  | 25,000.00 | 25,000.00  | Including any structural steel, bracing |
| E/o for penetrations/drilling holes to concrete                                    | 1.00     | P/S  | 3,500.00  | 3,500.00   |   |
| <b>Blockwork</b>   |          |      |           |            |   |
| 200 Block work - full filled & rebar - external walls to GF and FF, basement walls | 549.00   | m2   | 230.00    | 126,270.00 | Including framing for openings          |
| E/o for special facade features  | 1.00     | Sum  | 10,000.00 | 10,000.00  | Other considered under the cladding     |
| 200 Block work - full filled & rebar - internal load-bearing walls to GF           | 179.00   | m2   | 220.00    | 39,380.00  | Estimate                                |
| Tanking to block walls - basement and GF   | 131.00   | m2   | 55.00     | 7,205.00   |   |
| <b>CARPENTRY</b>   |          |      |           |            |   |
| <b>Wall framing</b>  |          |      |           |            |   |
| Wall framing 90x45 H1.2 (incl fixings, bracing)                                    | 745.00   | m2   | 65.00     | 48,425.00  | Timber framing assumed                  |
| Allowance for sundry timbers   | 1.00     | Sum  | 4,000.00  | 4,000.00   |   |
| <b>Roof Framing</b>  |          |      |           |            |   |
| Timber roof trusses incl. fixings, bracing, etc                                    | 373.80   | m2   | 85.00     | 31,773.00  | Complex roof                            |
| Framing to balcony ceiling   | 12.33    | m2   | 35.00     | 431.38     |   |
| E/o for loose timber / 70x45 purlins   | 441.08   | m2   | 25.00     | 11,027.00  |   |
| Platform for HWC   | 1.00     | Item | 450.00    | 450.00     | Incl bracing                            |
| Allowance for sundry timbers   | 1.00     | Sum  | 4,000.00  | 4,000.00   |   |
| Timber fillet along balustrade walls/roof parapets to achieve 5 degree fall        | 60.00    | m    | 25.00     | 1,500.00   |   |

**Mitre Hotel - Rebuild Estimate**

| Description  | Quantity | Unit | Rate     | Amount    | Comments   |
|--|----------|------|----------|-----------|--|
| Ceiling ply diaphragm to FF<br>(Continued)   | 348.12   | m2   | 75.00    | 26,109    | Bracing  |
| <b>Ceiling framing</b>   |          |      |          |           |  |
| Timber ceiling framing to FF   | 348.12   | m2   | 25.00    | 8,703.00  |  |
| <b>Insulation to timber walls/ceilings</b>   |          |      |          |           |  |
| R3.6 insulation to ceilings  | 372.12   | m2   | 21.02    | 7,821.96  |  |
| E/o for acoustic insulation internal walls 75/100mm  | 1.00     | P/S  | 5,000.00 | 5,000.00  | Estimate   |
| E/o for acoustic insulation between floors   | 372.12   | m2   | 20.00    | 7,442.40  |  |
| Strapping to block walls including insulation (like 40mm EPS)                              | 399.00   | m2   | 60.00    | 23,940.00 |  |
| <b>Internal wall linings</b>   |          |      |          |           |  |
| Waterproofing to walls in wet areas  | 70.00    | m2   | 75.00    | 5,250.00  | Estimate   |
| Aqua-panel to wall   | 6.00     | m2   | 140.00   | 840.00    | Bathroom with bath   |
| Wincot timber paneling - painted   | 35.00    | m2   | 300.00   | 10,500.00 |  |
| T&G timber paneling - varnished  | 65.00    | m2   | 280.00   | 18,200.00 |  |
| <b>Trims</b>   |          |      |          |           |  |
| Dado trim/Picture Rail   | 250.00   | m    | 32.00    | 8,000.00  | Rimu considered  |
| Timber skirting (different ones)   | 500.00   | m    | 35.00    | 17,500    | Estimate, average rate   |
| <b>Floor</b>   |          |      |          |           |  |
| Final coating to balcony floor - waterproof system   | 24.28    | m2   | 300.00   | 7,284.00  | Estimate   |
| Waterproofing to floor   | 51.00    | m2   | 75.00    | 3,825.00  | Kitchens, bathrooms, toilets, bars   |
| <b>EXTERNAL JOINERY</b>  |          |      |          |           |  |
| <i>All including hardware, installation, paint finish, glazing if not stated otherwise</i> |          |      |          |           |  |
| <b>Timber Joinery</b>  |          |      |          |           | <i>Assumed all ext. joinery would be uniform timber for the purpose of this estimate</i> |
| Timber double glazed windows   | 59.00    | m2   | 1,435.00 | 84,665.00 | With hardware, installation, tapes, painted, architraves                                 |
| E/o for obscure glazing  | 1.00     | Sum  | 1,000.00 | 1,000.00  | Estimate   |
| Timber entry door main door and glazing above  | 1.00     | Item | 6,000.00 | 6,000.00  |  |
| Timber entry double door   | 1.00     | Item | 3,700.00 | 3,700.00  | Entry to main bar  |
| Timber entry double door   | 1.00     | Item | 3,700.00 | 3,700.00  | Delivery entrance  |
| Timber exterior single side doors  | 3.00     | Item | 2,200.00 | 6,600.00  |  |
| Sliding door FF  | 1.00     | Item | 3,800.00 | 3,800.00  |  |

## Mitre Hotel - Rebuild Estimate

| Description   | Quantity | Unit | Rate      | Amount    | Comments                            |
|---|----------|------|-----------|-----------|-------------------------------------|
| Timber double door FF<br>(Continued)  | 2.00     | Item | 3,500.00  | 7,000.00  | Balcony                             |
| Timber double door FF   | 1.00     | Item | 3,500.00  | 3,500.00  |                                     |
| Sundry hardware   | 1.00     | P/S  | 2,500.00  | 2,500.00  |                                     |
| <b>JOINERY</b>  |          |      |           |           |                                     |
| <b>Timber Doors (Internal)</b>  |          |      |           |           |                                     |
| <i>All incl hardware, installation, architraves</i>                         |          |      |           |           |                                     |
| Main entry paneled doors  | 1.00     | Item | 4,000.00  | 4,000.00  | Average                             |
| Single solid door, painted or veneer, incl.<br>architrave                   | 33.00    | Item | 1,850.00  | 61,050.00 |                                     |
| Sliding door to restaurant  | 1.00     | Item | 3,000.00  | 3,000.00  |                                     |
| Sliding door to master bedroom  | 1.00     | Item | 2,000.00  | 2,000.00  |                                     |
| Sliding door to dining FF   | 1.00     | Item | 2,000.00  | 2,000.00  |                                     |
| Single sliding doors  | 2.00     | Item | 1,900.00  | 3,800.00  |                                     |
| Double solid doors, veneer  | 1.00     | Item | 2,800.00  | 2,800.00  |                                     |
| Internal window, single glazed  | 1.00     | Item | 900.00    | 900.00    |                                     |
| E/o for glazing to internal doors   | 1.00     | Sum  | 4,000.00  | 4,000.00  | Estimate                            |
| Sundry hardware   | 1.00     | Sum  | 2,500.00  | 2,500.00  |                                     |
| <b>Other joinery</b>  |          |      |           |           |                                     |
| MDF wooden stairs to basement   | 1.00     | Item | 1,800.00  | 1,800.00  |                                     |
| Rimu timber staircase incl timber balustrade,<br>handrails - main stairwell | 1.00     | Item | 15,000.00 | 15,000.00 | Main stairwell from<br>GF           |
| Rimu timber staircase incl timber balustrade,<br>handrails - mezzanine      | 1.00     | Item | 4,000.00  | 4,000.00  | Stairwell to<br>mezzanine           |
| Rimu timber staircase incl timber balustrade,<br>handrails - side stairwell | 1.00     | Item | 6,000.00  | 6,000.00  | Side stairs                         |
| Timber handrail to basement stairs  | 8.00     | m    | 50.00     | 400.00    | With brackets,<br>finished, 65x42mm |
| Storage to bay window seating   | 1.00     | Item | 1,000.00  | 1,000.00  | Main bar                            |
| General wardrobes and shelving throughout                                   | 1.00     | Sum  | 15,000.00 | 15,000.00 | Estimate                            |
| General fixings allowance   | 1.00     | Sum  | 5,000.00  | 5,000.00  |                                     |
| Rimu archways and similar joinery features                                  | 1.00     | Sum  | 2,500.00  | 2,500.00  |                                     |
| Office joinery  | 1.00     | Sum  | 5,000.00  | 5,000.00  |                                     |
| TAB joinery units and fittings  | 1.00     | P/S  | 15,000.00 | 15,000.00 |                                     |
| Main bar joinery and fittings   | 1.00     | P/S  | 30,000.00 | 30,000.00 |                                     |
| Bar kitchen joinery and appliances  | 1.00     | P/S  | 20,000.00 | 20,000.00 |                                     |
| FF kitchen joinery and appliances   | 1.00     | P/S  | 15,000.00 | 15,000.00 |                                     |
| <b>CLADDING</b>   |          |      |           |           |                                     |
| <b>Plastering</b>   |          |      |           |           |                                     |

## Mitre Hotel - Rebuild Estimate

| Description   | Quantity | Unit | Rate      | Amount    | Comments  |
|---|----------|------|-----------|-----------|---|
| Plaster finish to external block walls<br>(Continued)   | 438.00   | m2   | 120.00    | 52,560.00 |   |
| Plaster finish to self-standing columns   | 7.20     | m2   | 150.00    | 1,080.00  |   |
| Plaster finish to ceiling above the main entrance<br>(under the balcony)  | 12.00    | m2   | 130.00    | 1,560.00  |   |
| Plaster finish to balcony balustrade  | 1.00     | Sum  | 2,000.00  | 2,000.00  |   |
| E/o for details to plaster incl. windows, surrounds,<br>overhangs, lettering. etc. polystyrene substrate,<br>plaster finish | 1.00     | P/S  | 50,000.00 | 50,000.00 | High level estimate                             |
| <b>ROOF</b>   |          |      |           |           |   |
| <b>Roofing</b>  |          |      |           |           |   |
| Corrugated sheet roofing, wire netting, underlay  | 441.08   | m2   | 60.00     | 26,465.04 | Endura 0.55<br>pre-finished                     |
| E/o for flashings (apron, parapet) and cut chase;<br>per m2 of roof   | 441.08   | m2   | 30.00     | 13,232.52 | Including rear<br>extension                     |
| Roof penetrations   | 1.00     | Sum  | 2,000.00  | 2,000.00  | Estimate. Other than<br>chimneys                |
| Butynol roof to rear extension  | 12.23    | m2   | 275.00    | 3,361.88  |   |
| <b>Fascia/Barge</b>   |          |      |           |           |   |
| Timber fascia/barge board   | 20.00    | m    | 35.00     | 700.00    |   |
| <b>Soffit</b>   |          |      |           |           |   |
| T&G soffit, painted, above FF balcony   | 12.33    | m2   | 170.00    | 2,095.25  |   |
| <b>Gutters/DPs</b>  |          |      |           |           |   |
| Coloursteel gutter  | 20.00    | m    | 66.00     | 1,320.00  | 125mm half round                                |
| Gutters (butyl, ply, framing)   | 80.00    | m    | 200.00    | 16,000.00 |   |
| Coloursteel downpipes   | 28.00    | m    | 90.00     | 2,520.00  | 63mm round                                      |
| Rain-heads  | 4.00     | No   | 450.00    | 1,800.00  |   |
| <b>Other</b>  |          |      |           |           |   |
| Skylight to mezzanine room, including framing,<br>flashings   | 1.00     | No   | 10,000.00 | 10,000.00 | Estimate  |
| <b>COOLROOM</b>   |          |      |           |           |   |
| Insulating panel system to coolroom walls and<br>ceiling, incl. door  | 79.00    | m2   | 115.00    | 9,085.00  | Assumed 8 x 3 x<br>2.5m box with<br>75mm panels |
| Frames and girts  | 79.00    | m2   | 60.00     | 4,740.00  |   |
| E/o for shelving  | 1.00     | Sum  | 3,000.00  | 3,000.00  |   |
| E/o for services  | 1.00     | P/S  | 10,000.00 | 10,000    |   |
| <b>PLUMBING and FITTINGS</b>  |          |      |           |           |   |
| Plumbing - including fittings - medium qual   | 751.00   | m2   | 60.00     | 45,060.00 |   |
| Toilet pan, waste and fresh water connection  | 5.00     | No   | 950.00    | 4,750.00  | With seat                                       |

## Mitre Hotel - Rebuild Estimate

| Description   | Quantity | Unit | Rate      | Amount    | Comments                      |
|---|----------|------|-----------|-----------|-------------------------------|
| SS urinals incl. flushing<br>(Continued)  | 1.00     | Sum  | 7,000.00  | 7,000.00  |                               |
| Std pre-formed acrylic shower - square  | 2.00     | No   | 2,360.00  | 4,720.00  | Without fittings              |
| Acrylic bath, framed cradle   | 1.00     | Item | 1,850.00  | 1,850.00  |                               |
| WHB   | 8.00     | Item | 500.00    | 4,000.00  | Including one in each bedroom |
| Vanity - single basin   | 3.00     | Item | 750.00    | 2,250.00  | Without fittings              |
| Laundry tub   | 1.00     | Item | 1,200.00  | 1,200.00  | Without fittings              |
| Misc. bathroom fittings - towel rail, mirror, heater, extraction fans, hand dryers, etc           | 5.00     | P/S  | 1,500.00  | 7,500.00  | Average                       |
| Accessible toilet provisions  | 1.00     | P/S  | 1,000.00  | 1,000.00  |                               |
| <b>Water</b>  |          |      |           |           |                               |
| Water supply connection   | 1.00     | P/S  | 3,500.00  | 3,500.00  |                               |
| Cold water reticulation   | 751.00   | m2   | 10.00     | 7,510.00  | per GFA                       |
| Hot water reticulation  | 751.00   | m2   | 15.00     | 11,265.00 | per GFA                       |
| Hot water source  | 1.00     | P/S  | 6,000.00  | 6,000.00  | Commercial                    |
| <b>Gas</b>  |          |      |           |           |                               |
| Gas installation for kitchens   | 1.00     | P/S  | 6,000.00  | 6,000.00  |                               |
| <b>DRAINAGE</b>   |          |      |           |           |                               |
| Storm-water and sewer drains incl. all fittings and GT. Including external areas. Provisional Sum | 751.00   | m2   | 35.00     | 26,285.00 |                               |
| Storm-water connection  | 1.00     | P/S  | 2,500.00  | 2,500.00  |                               |
| Sewer connection  | 1.00     | P/S  | 2,500.00  | 2,500.00  |                               |
| <b>HVAC</b>   |          |      |           |           |                               |
| <b>Heating</b>  |          |      |           |           |                               |
| Log-burner and flue   | 2.00     | P/S  | 8,000.00  | 16,000.00 |                               |
| Gas-burner and flue   | 1.00     | P/S  | 7,000.00  | 7,000.00  |                               |
| Light weight chimney complete   | 3.00     | P/S  | 12,000.00 | 36,000.00 | Average                       |
| Fireplace surround & mantles & hearth   | 3.00     | P/S  | 3,500.00  | 10,500.00 | Average                       |
| Heat-pump   | 2.00     | P/S  | 6,000.00  | 12,000.00 | Commercial type, estimate     |
| <b>Air</b>  |          |      |           |           |                               |
| Ducted ventilation system. Provisional sum  | 751.00   | m2   | 80.00     | 60,080.00 |                               |
| <b>FIRE PROTECTION</b>  |          |      |           |           |                               |
| Allowance for detection/Fire alarm  | 1.00     | P/S  | 45,000.00 | 45,000.00 |                               |
| E/o allowance for fire and smoke-stop doors   | 1.00     | P/S  | 7,500.00  | 7,500.00  |                               |
| Allowance for signage and emergency lightning   | 1.00     | P/S  | 12,000.00 | 12,000.00 |                               |
| Allowance for sprinkler system  | 1.00     | P/S  | 25,000.00 | 25,000.00 |                               |

## Mitre Hotel - Rebuild Estimate

| Description  | Quantity | Unit | Rate      | Amount    | Comments  |
|--|----------|------|-----------|-----------|---|
| Allowance for fire penetrations<br>(Continued)   | 1.00     | P/S  | 5,000.00  | 5,000.00  |   |
| Allowance for fire walls   | 1.00     | P/S  | 3,000.00  | 3,000.00  |   |
| Allowance for fire protection between floors   | 1.00     | P/S  | 5,000.00  | 5,000.00  |   |
| Allowance for extinguishers, hose reel and similar<br>if needed  | 1.00     | P/S  | 3,000.00  | 3,000.00  |   |
| <i>Considered fire ladders and escape walkway<br/>omitted</i>  |          |      |           |           |   |
| <b>ELECTRICAL SERVICES and FITTINGS</b>  |          |      |           |           |   |
| Electrical services: new mains cable, DB, outlets,<br>lights, sockets, circuits, connections, extracts.<br>Provisional sum | 807.00   | m2   | 100.00    | 80,700.00 | Including basement,<br>externals,<br>connections to fire<br>protection systems<br>and security<br>systems |
| Mains cable  | 1.00     | P/S  | 3,500.00  | 3,500.00  |   |
| Phone/Data   | 1.00     | P/S  | 5,000.00  | 5,000.00  |   |
| Wall mounted heaters   | 1.00     | P/S  | 5,000.00  | 5,000.00  |   |
| Main kitchen extract   | 1.00     | P/S  | 2,000.00  | 2,000.00  |   |
| <b>Security</b>  |          |      |           |           |   |
| Security/CCTV system   | 1.00     | P/S  | 30,000.00 | 30,000.00 |   |
| <b>PLASTERBOARD LININGS</b>  |          |      |           |           |   |
| <b>Internal Wall Linings</b>   |          |      |           |           |   |
| 10mm Plasterboard to walls/ Stopping level 4   | 1,961.00 | m2   | 33.00     | 64,713.00 |   |
| E/o for 10mm Aqualine (wall)   | 95.00    | m2   | 12.00     | 1,140.00  |   |
| <b>Internal ceiling linings</b>  |          |      |           |           |   |
| 13mm Plasterboard to ceiling/ Stopping level 4   | 348.12   | m2   | 28.00     | 9,747.36  | FF  |
| Suspended ceiling to GF  | 344.37   | m2   | 50.00     | 17,218.50 |   |
| E/o for cascades and similar   | 1.00     | Sum  | 6,000.00  | 6,000.00  | Including framing   |
| E/o for vaulted ceiling in mezzanine   | 1.00     | Sum  | 3,000.00  | 3,000.00  |   |
| E/o for 13mm Aqualine  | 14.00    | m2   | 15.00     | 210.00    |   |
| Roof access hatch (simple)   | 4.00     | Item | 500.00    | 2,000.00  |   |
| E/o for ceiling lining around skylight   | 1.00     | Sum  | 1,000.00  | 1,000.00  |   |
| <b>FLOOR COVERINGS</b>   |          |      |           |           |   |
| <b>Vinyl (sheets)</b>  |          |      |           |           |   |
| Supply and lay Vinyl, incl preparation   | 196.06   | m2   | 105.00    | 20,586.30 |   |
| <b>Carpet</b>  |          |      |           |           |   |
| Carpet with underlay (excluded)  | 0.00     | m2   | 0.00      | 0.00      |   |
| <b>PAINTING</b>  |          |      |           |           |   |



## Mitre Hotel - Rebuild Estimate

| Description  | Quantity | Unit | Rate      | Amount    | Comments                               |
|--|----------|------|-----------|-----------|--|
| <b>Internal<br/>(Continued)</b>  |          |      |           |           |  |
| Paint walls  | 1,443.00 | m2   | 23.00     | 33,189.00 |  |
| Paint ceilings   | 369.00   | m2   | 24.00     | 8,856.00  |  |
| E/o for any other special ceiling finishes                                       | 1.00     | Sum  | 2,000.00  | 2,000.00  |  |
| Paint skirtings  | 500.000  | m    | 10.00     | 5,000.00  |  |
| Decorative wall paper  | 400.00   | m2   | 50.00     | 20,000.00 |  |
| Paint dado rail  | 250.00   | m    | 10.00     | 2,500.00  |  |
| <b>External</b>  |          |      |           |           |  |
| Paint fascia/barge   | 20.000   | m    | 15.00     | 300.00    |  |
| Paint plaster finish   | 478.00   | m2   | 40.00     | 19,120.00 | Including all features to the cladding |
| Paint balcony balustrade   | 1.00     | Sum  | 900.00    | 900.00    |  |
| Exterior signage   | 1.00     | P/S  | 5,000.00  | 5,000.00  |  |
| <b>SCAFFOLD and EDGE PROTECTION</b>  |          |      |           |           |  |
| <b>Scaffolding</b>   |          |      |           |           |  |
| Scaffolding to externals including roof edge protection                          | 678.00   | m2   | 85.00     | 57,630.00 | 24 weeks allowed                       |
| E/o for pedestrian walkways and council consent                                  | 1.00     | Sum  | 10,000.00 | 10,000.00 | Estimate                               |
| Allowance to wrap the scaffold to three sides                                    | 493.00   | m2   | 10.00     | 4,930.00  |  |
| Allowance for internal scaffold  | 1.00     | Sum  | 1,500.00  | 1,500.00  | Stairwell                              |
| <b>EXTERNAL WORKS</b>  |          |      |           |           |  |
| New elevated timber deck with timber balustrade and stairwell access to the rear | 8.00     | m2   | 1,155.00  | 9,240.00  | TBC what forms part of the claim       |
| Balustrade to rear extension   | 11.00    | m    | 150.00    | 1,650.00  | Simple                                 |
| Stairwell to rear extension  | 1.00     | Item | 1,800.00  | 1,800.00  | Simple                                 |
| Concrete patio at the back for the bar   | 100.00   | m2   | 100.00    | 10,000.00 | Estimate                               |
| Brick wall   | 10.00    | m    | 250.00    | 2,500.00  |  |
| Brick retaining wall towards the garage, street                                  | 27.00    | m    | 400.00    | 10,800.00 | 1m high                                |
| Concrete steps   | 1.00     | Item | 1,200.00  | 1,200.00  |  |
| Stone aggregate driveway (garage access)   | 25.60    | m2   | 30.00     | 768.00    | EQC                                    |
| Simple garage  | 1.00     | Item | 10,000.00 | 10,000.00 | Simple                                 |
| Woodshed   | 1.00     | Item | 1,500.00  | 1,500.00  | Simple                                 |
| Allowance for replacing fences   | 35.00    | m    | 160.00    | 5,600.00  | Including gates                        |
| Allowance for vegetation, soft landscaping                                       | 1.00     | P/S  | 2,500.00  | 2,500.00  |  |

**APPENDIX E: 3380/001 R3 – ESTIMATE REVIEW REPORT – HIN 78 –  
COMMERCIAL BUILDING AND SETTING, HARLEY CHAMBERS – 137  
CAMBRIDGE TERRACE, CHRISTCHURCH – 04 AUGUST 2023**

(overleaf)

4 August 2023

Te Hononga Civic Offices  
53 Hereford Street  
CHRISTCHURCH 8013

Attn: Amanda Ohs (e: [Amanda.ohs@ccc.govt.nz](mailto:Amanda.ohs@ccc.govt.nz))

Dear Amanda

**3380/001 R3 – ESTIMATE REVIEW REPORT – HIN 78 – COMMERCIAL BUILDING AND SETTING, HARLEY  
CHAMBERS – 137 CAMBRIDGE TERRACE, CHRISTCHURCH**

Please find enclosed our estimate review for Harley Chambers – 137 Cambridge Terrace,  
Christchurch.

Should you have any queries, please do not hesitate to contact the writer

Yours faithfully



Gavin Stanley BSc QS NZIQS (Affil)  
Project Cost Consultant  
**Rhodes + Associates Limited**



**Rhodes  
+Associates**

Quantity Surveyors  
Cost Consultants

3380/001 R3 - HIN 78 HARLEY CHAMBERS - 137 CAMBRIDGE  
TERRACE

Estimate Review

04 August 2023

Christchurch City Council

## QUALITY ASSURANCE INFORMATION

**Report:** ESTIMATE REVIEW  
**Document:** HIN 78 HARLEY CHAMBERS - 137 CAMBRIDGE TERRACE  
**Ref:** 3380/001 R3  
**Date:** 04 August 2023  
**Client:** CHRISTCHURCH CITY COUNCIL  
**Lead QS:** GAVIN STANLEY

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| <b>Ver:</b> | <b>Date:</b> | <b>Prepared By:</b> | <b>Reviewed By:</b> |
|-------------|--------------|---------------------|---------------------|
|             | 17/07/2023   | Gavin Stanley       | Phil Griffiths      |
| R1          | 26/07/2023   | Gavin Stanley       | Phil Griffiths      |
| R2          | 02/08/2023   | Gavin Stanley       | Phil Griffiths      |
| R3          | 04/08/2023   | Gavin Stanley       | Phil Griffiths      |

## **EXECUTIVE SUMMARY**

Rhodes + Associates Limited have been appointed by Christchurch City Council to provide a review of AECOM's estimates dated 22 September 2017 for compliance to a range of NBS levels and building replacement at Harley Chambers – 137 Cambridge Terrace, Christchurch.

This report has been prepared specifically for Christchurch City Council. Rhodes + Associates Limited accepts no liability in the event this report is used for any other purpose or by any other party.

## CLARIFICATIONS AND EXCLUSIONS

Rhodes + Associates Limited have not been requested to produce an estimate for the reinstatement and strengthening or replacement of Harley Chambers – 137 Cambridge Terrace, Christchurch and as such we have been requested to carry out a high-level review of the documentation from AECOM provided by Christchurch City Council. Allowances have been made for escalation given the submission date of AECOM's estimates.

### Building Description

Harley Chambers was constructed in 1928 with further extensions in 1934, is of historical and social significance and is listed as a Category 2 heritage building in the Heritage New Zealand Register and in the Christchurch District Plan. The building suffered significant damage during the series of recent Canterbury. Harley Chambers has a gross floor area of approximately 2,281 m<sup>2</sup> (GFA provided by AECOM) and is constructed on three levels and includes a basement.

### Procurement

- It has been assumed the market is competitive with no adjustment included for inflationary factors associated with a major event
- The works are to be negotiated with a fixed lump sum contract

### Review

This review has been carried out by Gavin Stanley, Senior Quantity Surveyor with Rhodes + Associates Limited who has a BSc in Quantity Surveying, 30+ years' experience and is an Affiliate Member of the NZIQS.

The review has been based upon AECOM's cost estimate options issued 22 September 2017 (Appendix G) which covers repair and strengthening, rebuild works in accordance with the reports as identified within section 1.0 of AECOM's cost estimate options.

Rhodes + Associates Limited have made no allowances for any further works to cover any additional deterioration to the building beyond the date of the quotation.

### Methodology

For simplicity we have carried out our calculations for construction escalation costs based on the 'New Zealand standard conditions of contract for building and civil engineering construction NZS 3910:2013', in particular 'Appendix A – Cost fluctuation adjustment by indexation' of that contract (see Appendix A for copy).

Indices are required for the calculations which are updated on a quarterly basis and are published by Statistics New Zealand. The indices are available on their website <http://archive.stats.govt.nz/infoshare/>

*L and L<sup>1</sup> – 'Labour Cost Index; Private Sector: Industry Group – Construction: All Salary and Wages Rates' (see Appendix C for relevant indices)*

*M and M<sup>1</sup> – 'Producers Price Index; Inputs: Industry Group - Construction' (see Appendix C for relevant indices)*

This report is required to calculate escalation to July 2023. Unfortunately, indices by Statistics New Zealand have only been produced up to the quarter ending March 2023, we have allowed for additional estimated escalation up to the third quarter of 2023 (See Appendix C for Indices).

### **AECOM Estimates – Building Reinstatement Options**

### Escalation

Please note we have carried out escalation calculations on AECOM's estimates as below and shown in Appendix B.

| Ref | Description  | Value including escalation, excluding GST | Value per m2 including escalation, excluding GST |
|-----|--|---|--|
| 2.1 | Option 1A: Building Reinstatement & Strengthening (34% NBS)  | \$16,204,671                              | \$7,104.20                                       |
| 2.2 | Option 1B: Building Reinstatement & Strengthening (67% NBS)  | \$21,610,447                              | \$9,474.11                                       |
| 2.3 | Option 1C: Building Reinstatement & Strengthening (100% NBS) | \$23,787,949                              | \$10,428.74                                      |

### Arithmetical Checks

All cost estimates have been arithmetically checked, there are minor discrepancies due to rounding but these do not have any impact on the priced options.

Please note no checks have been made on the quantities provided by AECOM.

### Rates

We have carried out a high-level review of the rated items provided within the estimate and generally agree with those rates.

### Provisional Sums (non-escalated)

All 'Building Reinstatement Options' have sums/provisional sums to the value of \$1,924,735, which when taken into account with the necessary percentage adjustments equate to a total of \$2,986,760 and represents between 16% and 23% of the Estimate Contract Values (See Appendix D)

Rhodes + Associates Limited are unable to comment on whether these Provisional Sums are reasonable without further information to support them.

### Margins

Margin of 8% has been applied which appears to be appropriate and at current market levels for the type of works involved.

### Design Development Contingency

A design contingency has been allowed of 5%, which appears appropriate for this project.

### Construction Contingency

Construction contingencies of 10% have been applied which appear to be appropriate and at current market levels given the design development contingencies allowed elsewhere within the estimates.

### Professional Fees

Professional fees are consistent throughout the various options at 12% which is reasonable for this type of building project.

### **Replacement cost**



### Escalation

Please note we have carried out escalation calculations on AECOM's estimates as below and shown in Appendix B.

| Ref | Description   | Value including escalation, excluding GST | Value per m2 including escalation, excluding GST |
|-----|---|---|--|
| 3.1 | Replica Modern Replacement (100% NBS)   | \$13,546,092                              | \$5,938.66                                       |
|     | Replica Modern Replacement (100% NBS) – Corrected (See Appendix E)                          | \$13,652,435                              | \$5,985.28                                       |
| 3.2 | Option 2A: Retained Historic Façade with New Open Plan Office Building Connected (100% NBS) | \$18,660,691                              | \$8,180.92                                       |
| 3.3 | Option 2B: New Open Plan Office (100% NBS)  | \$12,356,061                              | \$5,416.95                                       |

Note the above replacement figures make allowance for Infrastructure

### Arithmetical Checks

We have noted that there is an error contained within Ref 3.1 Replica Modern Replacement, where the demolition figure of \$456,000 has not been correctly carried through to the final total and would be subject to % adjustments (See Appendix E)

### Rates

We have carried out a high-level review of Ref 3.1, the rated items provided within the estimate and generally agree with those rates.

Ref 3.2 and 3.3 have been based on \$/m2 rates which appear reasonable.

### Margins

For Ref 3.1 a Margin of 5% has been applied to building and external works but 6% to Infrastructure Services all of which appear to be appropriate and at current market levels for the type of works involved.

### Design Development Contingency

A design contingency has been allowed of 5%, which appears appropriate for this project.

### Construction Contingency

Construction contingencies of 5% have been applied all of which appear to be appropriate and at current market levels given the design development contingencies allowed elsewhere within the estimates.

### **Extra Value for Retention of Façade**

AECOM have allowed for retention of the Façade within 3.2 'Option 2A: Retained Historic Façade with New Open Plan Office Building Connected (100% NBS)' and have provided a full breakdown of this figure within their Appendix E.

We have calculated the extra value for the retention of the façade within Appendix F and have escalated that figure within Appendix B.

| Ref | Description                  | Value including escalation, excluding GST |
|-----|------------------------------|---|
|     | Extra Value to Retain Façade | \$6,426,165                               |

The figure of \$6,426,165 can only be used as a rough guide and is dependent upon the structure that will be in place behind the Façade.

We are unable to confirm if the detailed measure provided by AECOM is correct as we are missing the full information provided by Structex on which their estimate is based, although we do appear to have a potential issue with the area of the façade.

AECOM's measure suggests the façade has an overall area of 820 m<sup>2</sup> (see AECOM Building Replacement Options 3.2.1 and their Appendix E, page 9 item 2), using the available information, we have estimated the area of the façade to around 700 m<sup>2</sup>, a potential difference of 120 m<sup>2</sup>.

Using the extra value calculated for the retention of the façade of \$6,426,165 and dividing it by 820 m<sup>2</sup> gives a rate of \$7,836.78/m<sup>2</sup>. If this rate was applied on a pro rata basis to the 700 m<sup>2</sup>, the extra value for façade retention would work out to be around \$5,485,753, a potential reduction of \$940,412.

We would suggest that further investigation is carried out on the element to support the figures tabled by AECOM considering the values involved.

#### **DOCUMENTATION**

- Resource Consent Application to the Christchurch City Council - December 2017



**NZS 3910:2003**

**APPENDIX A – COST FLUCTUATION ADJUSTMENT BY INDEXATION**

**A1**

The provisions of this Appendix shall apply unless otherwise specifically provided in the Special Conditions.

**A2**

The amounts payable by the Principal to the Contractor under the contract shall be adjusted up or down by amounts calculated in accordance with the following formula:

where

$$C=V \left[ \frac{0.4(L-L')}{L'} + \frac{0.6(M-M')}{M'} \right]$$

C = Cost fluctuation adjustment for the quarter under consideration,

V = Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A3, but without deduction of retentions and excluding the Cost fluctuation adjustment,

L = Labour Cost Index; Private Sector: Industry Group – Construction: All Salary and Wage Rates: published by Statistics New Zealand, for the quarter under consideration,

L' = Index as defined under L but applying for the quarter during which tenders close,

M = Producers Price Index; Inputs: Industry Group – Construction, published by Statistics New Zealand applying for the quarter under consideration,

M' = Index as defined under M but applying for the quarter during which tenders close.

**A3**

For the purpose of calculating the Cost fluctuation adjustment, any Daywork, Prime Cost Sums, Variations and other payment items which are based on actual Cost or current prices and any advances shall be excluded from the Engineer's valuation.

**A4**

No other Cost fluctuation adjustment will be made by reason of any inaccuracy in the proportions of labour and Material Costs assumed in the above formula.

**A5**

The Contractor shall not be entitled to claim or have deducted any Cost fluctuation adjustment for any further changes in indices which occur after the Due Date for Completion of the contract.

**A6**

The indices to be used in the calculation of fluctuation shall be those first published by Statistics New Zealand for the appropriate quarter.

**A7**

Where indices for the quarter have not yet been published, interim payments will be made on the basis of the indices for the most recent quarter for which indices are available.

**A8**

If at any time either of the indices referred to in A2 are no longer published by Statistics New Zealand, or if the basis of either index is materially changed, the adjustment shall thereafter be calculated by using such other index, or in such other manner, as will fairly reflect the changes as previously measured by that index.

[For Statistics New Zealand Producers price index information goto T:\RACL - Information Point\Cost Information\Business Price Indexes](#)

**Appendix B**  
Cost Fluctuation Adjustment Calculations By Indexations

HIN 78 - COMMERCIAL BUILDING AND SETTING, HARLEY CHAMBERS - 137 CAMBRIDGE TERRACE, CHRISTCHURCH

Cost Fluctuation Adjustment Calculations By Indexation

AECOM

Building Reinstatement Options

$$C=V \left[ \frac{0.4(L-L')}{L} + \frac{0.6(M-M')}{M} \right]$$

| C  | Cost fluctuation adjustment for the quarter under consideration, (rounded up to the nearest \$)  | A   | B   | C  |
|----|--|---|---|--|
| V  | Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A.3, but without deduction of retentions | 2.1 - Option 1A: Building Reinstatement & Strengthening (34% NBS) | 2.2 - Option 1B: Building Reinstatement & Strengthening (67% NBS) | 2.3 - Option 1C: Building Reinstatement & Strengthening (100% NBS) |
| L  | Labour Cost Index: Private Sector - Construction: All Salary and Wage Rates: published July to September 2023  | 1377  | 1377  | 1377   |
| L' | Index as defined under L but applying for the quarter during which tenders close, July to September 2017   | 1182  | 1182  | 1182   |
| M  | Producers Price Index: Inputs: Industry Group - Construction, published by Statistics New Zealand applying for the quarter under consideration, July to September 2023                         | 1488  | 1488  | 1488   |
| M' | Index as defined under M but applying for the quarter during which tenders close, July to September 2017   | 1116  | 1116  | 1116   |
|    | <b>Adjusted value (rounded to nearest \$)</b>  | <b>\$ 3,404,671.00</b>  | <b>\$ 4,540,447.00</b>  | <b>\$ 4,997,949.00</b>   |
|    | Adjusted value \$/m2 based on GFA 2,281 m2 (rounded to nearest \$)   | \$ 1,492.31   | \$ 1,990.11   | \$ 2,189.84  |

Building Replacement Options

$$C=V \left[ \frac{0.4(L-L')}{L} + \frac{0.6(M-M')}{M} \right]$$

| C  | Cost fluctuation adjustment for the quarter under consideration, (rounded up to the nearest \$)  | D   | E  | F  |
|----|--|---|--|--|
| V  | Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A.3, but without deduction of retentions | 3.1 - Replica Modern Replacement (100% NBS) | 3.2 - Replica Modern Replacement (100% NBS) - Revised To Building Connected (100% NBS) | 3.3 - Option 2B: Retained Historic Facade with New Open Plan Office (100% NBS) |
| L  | Labour Cost Index: Private Sector - Construction: All Salary and Wage Rates: published July to September 2023  | 1377  | 1377   | 1377   |
| L' | Index as defined under L but applying for the quarter during which tenders close, July to September 2017   | 1182  | 1182   | 1182   |
| M  | Producers Price Index: Inputs: Industry Group - Construction, published by Statistics New Zealand applying for the quarter under consideration, July to September 2023                         | 1488  | 1488   | 1488   |
| M' | Index as defined under M but applying for the quarter during which tenders close, July to September 2017   | 1116  | 1116   | 1116   |
|    | <b>Adjusted value (rounded to nearest \$)</b>  | <b>\$ 2,846,092.00</b>                      | <b>\$ 2,868,435.00</b>   | <b>\$ 3,920,691.00</b>   |
|    | Adjusted value \$/m2 based on GFA 2,281 m2 (rounded to nearest \$)   | \$ 1,247.74                                 | \$ 1,258.12  | \$ 1,719.11  |

Extra Value for Retention of Facade

$$C=V \left[ \frac{0.4(L-L')}{L} + \frac{0.6(M-M')}{M} \right]$$

| C  | Cost fluctuation adjustment for the quarter under consideration, (rounded up to the nearest \$)  | G  |
|----|--|--|
| V  | Valuation of work shown as payable in any Payment Schedule in respect of work having been completed during the quarter under consideration subject to A.3, but without deduction of retentions | Extra Value for Retention of Facade [See Appendix G] |
| L  | Labour Cost Index: Private Sector - Construction: All Salary and Wage Rates: published July to September 2023  | 1377   |
| L' | Index as defined under L but applying for the quarter during which tenders close, July to September 2017   | 1182   |
| M  | Producers Price Index: Inputs: Industry Group - Construction, published by Statistics New Zealand applying for the quarter under consideration, July to September 2023                         | 1488   |
| M' | Index as defined under M but applying for the quarter during which tenders close, July to September 2017   | 1116   |
|    | <b>Adjusted value (rounded to nearest \$)</b>  | <b>\$ 1,350,145.00</b>                               |
|    | Adjusted value \$/m2 based on GFA 2,281 m2 (rounded to nearest \$)   | \$ 592.17  |



**Labour Cost Index - LCI - L and L<sup>1</sup> -  
Jan 2011 to Dec 2020**

**Work Income And Spending | Labour  
Cost Index**

**Private Sector and Industry Group  
(ANZSIC06)(Base: June 2009 qtr (=1000))  
(Qrtly-Mar/Jun/Sep/Dec)**

|         | <b>All Salary and<br/>Wage Rates<br/>Construction</b> | <b>Movement In<br/>Index</b> |
|---------|---|------------------------------|
| 2019Q3  | 1227  | 5                            |
| 2019Q4  | 1236  | 9                            |
| 2020Q1  | 1242  | 6                            |
| 2020Q2  | 1235  | -7                           |
| 2020Q3  | 1246  | 11                           |
| 2020Q4  | 1253  | 7                            |
| 2021Q1  | 1264  | 11                           |
| 2021Q2  | 1273  | 9                            |
| 2021Q3  | 1284  | 11                           |
| 2021Q4  | 1294  | 10                           |
| 2022Q1  | 1305  | 11                           |
| 2022Q2  | 1326  | 21                           |
| 2022Q3  | 1336  | 10                           |
| 2022Q4  | 1353  | 17                           |
| 2023Q1  | 1361  | 8                            |
| 2023Q2* | 1369  | 8                            |
| 2023Q3* | 1377  | 8                            |

*Last updated by Statistics New Zealand 03  
May 2023 at 10:45am*

**Producers Price Index - PPI - M and  
M<sup>1</sup> - Jan 2011 to Dec 2020**

**Economic Indicators | Producers Price  
Index - PPI**

**Inputs (ANZSIC06) - NZSIOC level 1, Base:  
Dec. 2010 quarter (=1000) (Qrtly-  
Mar/Jun/Sep/Dec)**

|         | <b>Construction</b> | <b>Movement In<br/>Index</b> |
|---------|---------------------|------------------------------|
| 2019Q3  | 1193                | 9                            |
| 2019Q4  | 1199                | 6                            |
| 2020Q1  | 1202                | 3                            |
| 2020Q2  | 1198                | -4                           |
| 2020Q3  | 1207                | 9                            |
| 2020Q4  | 1211                | 4                            |
| 2021Q1  | 1223                | 12                           |
| 2021Q2  | 1246                | 23                           |
| 2021Q3  | 1277                | 31                           |
| 2021Q4  | 1304                | 27                           |
| 2022Q1  | 1353                | 49                           |
| 2022Q2  | 1409                | 56                           |
| 2022Q3  | 1445                | 36                           |
| 2022Q4  | 1467                | 22                           |
| 2023Q1  | 1474                | 7                            |
| 2023Q2* | 1481                | 7                            |
| 2023Q3* | 1488                | 7                            |

*Last updated by Statistics New Zealand 18  
May 2023 at 10:45am*

\* Denotes estimated indices taken as movement in last confirmed quarter





| No  | Description  | Quantity | Unit | Rate | Total             |
|---|--|----------|------|------|-------------------|
| <b>1 BUILDING WORKS</b>   |  |          |      |      |                   |
| <b>1 SITE PREPARATION</b>   |  |          |      |      | <b>532,500.00</b> |
| <u>Site Preparation</u>   |  |          |      |      |                   |
| 1   | Asbestos further testing and removal (Item No. 403 - Provisional Sum)  |          | Sum  |      | 100,000.00        |
| 2   | Remove furniture, fixings and equipments (FF&E) and store offsite (Item No. 405 as Provisional Sum)  |          | Sum  |      | 20,000.00         |
| 5   | Remove and clean pigeon dropping to existing floors, walls, ceiling bulkheads and sanitation of North and South Section (Item No. 402 as Provisional Sum)  |          | Sum  |      | 30,000.00         |
| 7   | Allow engineers full assessment of floors, walls and cracks after lifting floor finishes and removal of wall linings to North and South Section. This includes detailed dilapidation survey and report (Item No. 211, 301, 302, 303 and 419 as Provisional Sum). This is part of Professional Fee. |          | NOTE |      |                   |
| <u>Demolition</u>   |  |          |      |      |                   |
| 33  | Remove concrete encasement to existing steel columns and dispose offsite due to Ground Floor temporary transfer truss installation North Section (Item No. 101 b and c i as Provisional Sum)   |          | Sum  |      | 4,000.00          |
| 44  | Demolish existing reinforced concrete stairs and landings to Basement North section and dispose offsite (Item No. 101 b and c v)   |          | Sum  |      | 8,000.00          |
| <u>Temporary transfer truss, beams, foundation and piles to Ground Floor North Section (Item No. 101 b and c i)</u>         |  |          |      |      |                   |
| 57  | Allow for complex installations and substantial fixings through existing columns (Provisional Sum)   |          | Sum  |      | 7,500.00          |
| 59  | Remove temporary transfer truss after completing all related work (Provisional Sum)  |          | Sum  |      | 10,000.00         |
| <u>Temporary lateral braces to main columns of Basement, Ground and First Floor North Section (Item No. 101 b and c iv)</u> |  |          |      |      |                   |
| 65  | Provide substantial fixings through existing columns, beams and post down to floor (Provisional Sum)   |          | Sum  |      | 4,000.00          |
| 67  | Remove temporary lateral braces after completing all related work (Provisional Sum)  |          | Sum  |      | 9,000.00          |
| <u>Substructure Construction</u>  |  |          |      |      |                   |
| 73  | Underpin existing east side foundation in 1.2m section 'Hit and Miss' adjacent to basement (Item No. 101 b and c vii)  |          | Sum  |      | 80,000.00         |
| <u>Basement Construction</u>  |  |          |      |      |                   |
| 74  | Dewatering for basement excavation (Item No. 101 b and c ii as Provisional Sum)  |          | Sum  |      | 200,000.00        |
| 76  | Allow difficulty of equipment and excavation access (Item 101 b and c vi as Provisional Sum)   |          | Sum  |      | 60,000.00         |
| <b>2 SUBSTRUCTURE</b>   |  |          |      |      | <b>150,000.00</b> |
| <u>Piling</u>   |  |          |      |      |                   |
| 98  | Jack, pack and grout screw piles (40 No.) to Ground Floor North Section (Item No. 102 as Provisional Sum)  |          | Sum  |      | 100,000.00        |
| 101   | Jack, pack and grout screw piles (8 No.) to Ground Floor South Section (Item No. 103 as Provisional Sum)   |          | Sum  |      | 50,000.00         |
| <b>9 STAIRS AND BALUSTRADES</b>   |  |          |      |      | <b>20,500.00</b>  |
| 177   | Provisional allowance for SHS supports posts at connections to upper floors - main stairs North Section (Item No. 130)   |          | Sum  |      | 20,500.00         |
| <b>15 FITTINGS AND FIXTURES</b>   |  |          |      |      | <b>70,000.00</b>  |
| 217   | Remove and reinstate kitchen joinery= 20 numbers (Provisional Sum)   |          | Sum  |      | 45,000.00         |

|  |     |           |
|--|-----|-----------|
| 218 Remove and reinstate fixed appliances (Provisional Sum)                | Sum | 8,000.00  |
| 219 Remove and reinstate office wall shelving (Provisional Sum)            | Sum | 7,000.00  |
| 220 Remove and reinstate office wall shelving with doors (Provisional Sum) | Sum | 10,000.00 |

## 16 SANITARY PLUMBING

**34,000.00**

### Domestic / Flushing Water Services

|   |     |           |
|---|-----|-----------|
| 221 Pressure test all internal water supply pipework (Item No. 413 and Cosgroves report as Provisional Sum)   | Sum | 10,000.00 |
| 222 Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional sum) | Sum | 5,000.00  |
| 228 Test to hot water tempering valves and fixtures (Item No. 417 and Cosgroves report as Provisional Sum)    | Sum | 3,000.00  |
| 229 Additional RPZ and water connection to building (Item No. 417 and Cosgroves report as Provisional Sum)    | Sum | 5,000.00  |

### Storm Water Services

|  |     |          |
|--|-----|----------|
| 230 Clean gutters and downpipes, inspect and flush connections to kerb discharge (Item No. 413 and Cosgroves report as Provisional Sum)              | Sum | 2,000.00 |
| 231 Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional Sum)  | Sum | 1,000.00 |
| 232 Seismic Restraints to suspended services, hot water cylinder and cold water storage tanks (Item No. 413 and Cosgroves report as Provisional Sum) | Sum | 8,000.00 |

## 17 HEATING AND VENTILATION SERVICES

**41,000.00**

|  |     |           |
|--|-----|-----------|
| 234 Drain and flush radiators pipework including pipework condition report and pressure test (Item No. 413 as Provisional Sum) | Sum | 10,000.00 |
| 235 Replace damage pipework as required (Item No. 413 as Provisional Sum)  | Sum | 5,000.00  |
| 237 Check, test and clean existing ventilation system riser and ductwork (Item No. 413)  | Sum | 20,000.00 |
| 238 Replace damage ventilation riser or ductwork as required (Item No. 413 as Provisional Sum)                                 | Sum | 6,000.00  |

## 18 FIRE SERVICES

**472,585.00**

|   |          |           |            |
|---|----------|-----------|------------|
| 240 Ramp access with stainless steel railing from external ground to floor level main entrance at North Section (Item No. 305 as Provisional Sum)   | Sum      | 15,000.00 |            |
| 241 Install accessible toilet on the ground floor level to achieve compliance for Building Consent. Likely to involve alterations to existing partition walls, plumbing, etc. (Item No. 305 as Provisional Sum) | Sum      | 30,000.00 |            |
| 242 Remove existing Type 2f manual alarm system with manual call points and bells (Item No. 415 and Cosgrove report as Provisional Sum)   | Sum      | 25,000.00 |            |
| 243 Automatic fire sprinkler system incorporating a manual fire alarm system (Type 4) and an automatic smoke/heat detection system (Item No. 415 and Cosgrove report as Provisional Sum)                        | 2,281 m2 | 75.00     | 171,075.00 |
| 244 Remove non illuminated exit signage (Item No. 415 and Cosgrove report as Provisional Sum)   | Sum      | 500.00    |            |
| 254 Remove and replace existing external fire stairs from the South end of the building (Item No. 415 and Cosgrove report as Provisional Sum)   | Sum      | 60,000.00 |            |
| 255 Fire separation to external stair walls, lift walls and office walls North and South Section (Item No. 415 and Cosgrove report as Provisional Sum)  | 382 m2   | 330.00    | 126,060.00 |
| 256 13 Fyreline board between North and South Sections of the building (Item No. 415 and Cosgrove report as Provisional Sum)  | 233 m2   | 150.00    | 34,950.00  |
| 257 Fire separation to existing subfloor spaces to North and South Sections and all services penetration to be sealed (Item No. 415 and Cosgrove report as Provisional Sum)                                     | Sum      | 10,000.00 |            |

## 19 ELECTRICAL SERVICES

**410,150.00**

### Mechanical for Electrical Services

|   |     |          |
|---|-----|----------|
| 258 New mechanical switchboard in Basement North Section (Item No. 413 and Cosgroves report as Provisional Sum)                                 | Sum | 5,000.00 |
| 259 Review and replace associated wiring to new or existing plant items to North Section (Item No. 413 and Cosgroves report as Provisional Sum) | Sum | 3,000.00 |

|   |  |       |       |                                  |
|---|--|-------|-------|----------------------------------|
| <u>Electrical Work</u>                                  |  |       |       |                                  |
| 260   | Remove existing switchboards, cabling, wiring, luminaires, supply connection to Orion low voltage network, earthing and bonding system (Item No. 414 and Cosgrove report as Provisional Sum)   | Sum   |       | 50,000.00                        |
| 261   | Electric power and lighting including submains and switchboards (Item No. 414 and Cosgrove report as Provisional Sum)  | 2,281 | m2    | 150.00 342,150.00                |
| 262   | Emergency lighting (Item No. 415 and Cosgrove report as Provisional Sum)   | Sum   |       | 10,000.00                        |
| <b>21 SPECIAL SERVICES</b>                              |  |       |       | <b>3,000.00</b>                  |
| 266   | Check and commission intruder security (Item No. 414 and Cosgrove report)  | Sum   |       | 3,000.00                         |
| <b>22 DESIGN DEVELOPMENT CONTINGENCY (Item No. 502)</b> |  | %     | 5.00  | 86,687.00                        |
| <b>23 PRELIMINARY &amp; GENERAL (Item No. 501)</b>      |  | %     | 12.00 | 218,451.00                       |
| <b>24 SCAFFOLDING &amp; ACCESS</b>                      |  |       |       | <b>170,000.00</b>                |
| 268   | Temporary scaffoldings due external requirement for crack injection, window glazing replacement, plaster and paint (Item No. 130 and 412 as Provisional Sum)   | Sum   |       | 100,000.00                       |
| 269   | Temporary scaffoldings and propping to floors - internal requirement due to bell block walls removal (Drawing No. SKR2 Item No. 131 as Provisional Sum)  | Sum   |       | 70,000.00                        |
| <b>25 MARGIN</b>  |  | %     | 8.00  | 176,710.00                       |
| <b>BUILDING WORKS TOTAL</b>                             |  |       |       | <b>1,903,735.00 2,385,583.00</b> |
| <b>2 EXTERNAL WORKS</b>                                 |  |       |       |                                  |
| <b>1 SITE WORKS</b>                                     |  |       |       | <b>3,000.00</b>                  |
| 3   | Remove, store and reinstate metal security fence (Item No. 411 as Provisional Sum)   | Sum   |       | 3,000.00                         |
| <b>2 DESIGN DEVELOPMENT CONTINGENCY (Item No. 502)</b>  |  | %     | 5.00  | 150.00                           |
| <b>3 PRELIMINARY &amp; GENERAL (Item No. 501)</b>       |  | %     | 12.00 | 378.00                           |
| <b>4 MARGIN</b>   |  | %     | 8.00  | 283.00                           |
| <b>EXTERNAL WORKS TOTAL</b>                             |  |       |       | <b>3,000.00 3,811.00</b>         |
| <b>3 INFRASTRUCTURE SERVICES</b>                        |  |       |       |                                  |
| <b>1 DRAINAGE</b>                                       |  |       |       | <b>15,000.00</b>                 |
| <u>Sanitary Services</u>                                |  |       |       |                                  |
| 1   | Water blastings to all existing drains to Cambridge Terrace and Worcester Street going to CCC main service lines (Item 417 and Cosgroves report as Provisional Sum)  | Sum   |       | 5,000.00                         |
| 2   | Camera survey of sewer lateral of existing sanitary services in particular 3 sewer connections to Cambridge Terrace and 2 sewer connection to Worcester Street going to CCC sewer mains (Item 417 and Cosgroves report as Provisional Sum) | Sum   |       | 5,000.00                         |
| 3   | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional Sum)  | Sum   |       | 5,000.00                         |
| <b>2 EXTERNAL LIGHT &amp; POWER</b>                     |  |       |       | <b>3,000.00</b>                  |
| 4   | Remove and reinstate site lighting affected by Basement demolition work (Item No. 101 b and 414)   | Sum   |       | 3,000.00                         |
| <b>2 DESIGN DEVELOPMENT CONTINGENCY (Item No. 502)</b>  |  | %     | 5.00  | 900.00                           |
| <b>3 PRELIMINARY &amp; GENERAL (Item No. 501)</b>       |  | %     | 12.00 | 2,268.00                         |
| <b>4 MARGIN</b>   |  | %     | 8.00  | 1,694.00                         |
| <b>INFRASTRUCTURE SERVICES TOTAL</b>                    |  |       |       | <b>18,000.00 22,862.00</b>       |
| <b>1 BUILDING WORKS</b>                                 |  |       |       | <b>2,385,583.00</b>              |

|  |          |              |                   |
|--|----------|--------------|-------------------|
| <b>2 EXTERNAL WORKS</b>                          |          |              | <b>3,811.00</b>   |
| <b>3 INFRASTRUCTURE SERVICES</b>                 |          |              | <b>22,862.00</b>  |
| <b>4 BUILDING CONSENT (Item No. 504)</b>         | <b>%</b> | <b>0.50</b>  | <b>12,062.00</b>  |
| <b>5 CONSTRUCTION CONTINGENCY (Item No. 502)</b> | <b>%</b> | <b>10.00</b> | <b>242,432.00</b> |
| <b>6 PROFESSIONAL FEES (Item No. 503)</b>        | <b>%</b> | <b>12.00</b> | <b>320,010.00</b> |

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|              |  |  |                     |                     |
|--------------|--|--|---------------------|---------------------|
| <b>TOTAL</b> |  |  | <b>1,924,735.00</b> | <b>2,986,760.00</b> |
|--------------|--|--|---------------------|---------------------|

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| <b>Percentage of Budget</b>                                  | Estimate<br>Value | Provisional Sums<br>Value | % Estimate |
|--|-------------------|---------------------------|------------|
| Option 1A: Building Reinstatement & Strenghtening (34% NBS)  | 12,800,000.00     | 2,986,760.00              | 23%        |
| Option 1B: Building Reinstatement & Strenghtening (67% NBS)  | 17,070,000.00     | 2,986,760.00              | 17%        |
| Option 1C: Building Reinstatement & Strenghtening (100% NBS) | 18,970,000.00     | 2,986,760.00              | 16%        |



AECOM Infrastructure Services - Harley Chambers - Replica Replacement Rev: 1 - 24-Aug-2017

| No           | Description                                    | Quantity | Unit | Rate         | Original Aecom       | Revised Rhodes + Associates Limited |
|--------------|--|----------|------|--------------|----------------------|-------------------------------------|
| <b>1</b>     | <b>DEMOLITION</b>                              |          |      |              | <b>456,000.00</b>    | <b>456,000.00</b>                   |
| <b>2</b>     | <b>BUILDING WORKS</b>                          |          |      |              | <b>8,490,000.00</b>  | <b>8,490,000.00</b>                 |
| <b>3</b>     | <b>EXTERNAL WORKS</b>                          |          |      |              | <b>78,000.00</b>     | <b>78,000.00</b>                    |
| <b>4</b>     | <b>INFRASTRUCTURE SERVICES</b>                 |          |      |              | <b>100,000.00</b>    | <b>100,000.00</b>                   |
|              |  |          |      |              | <b>8,668,000.00</b>  | <b>9,124,000.00</b>                 |
| <b>4</b>     | <b>BUILDING CONSENT (Item No. 504)</b>         |          | %    | <b>0.50</b>  | <b>43,000.00</b>     | <b>45,600.00</b>                    |
| <b>5</b>     | <b>CONSTRUCTION CONTINGENCY (Item No. 502)</b> |          | %    | <b>5.00</b>  | <b>436,000.00</b>    | <b>458,500.00</b>                   |
| <b>6</b>     | <b>PROFESSIONAL FEES (Item No. 503)</b>        |          | %    | <b>12.00</b> | <b>1,097,000.00</b>  | <b>1,155,400.00</b>                 |
| <b>TOTAL</b> |  |          |      |              | <b>10,700,000.00</b> | <b>10,784,000.00</b>                |

Note total rounded up to nearest \$1,000





**Option 2A: Retained Historic Façade with New Open Plan Office Building Connected (100% NBS)**

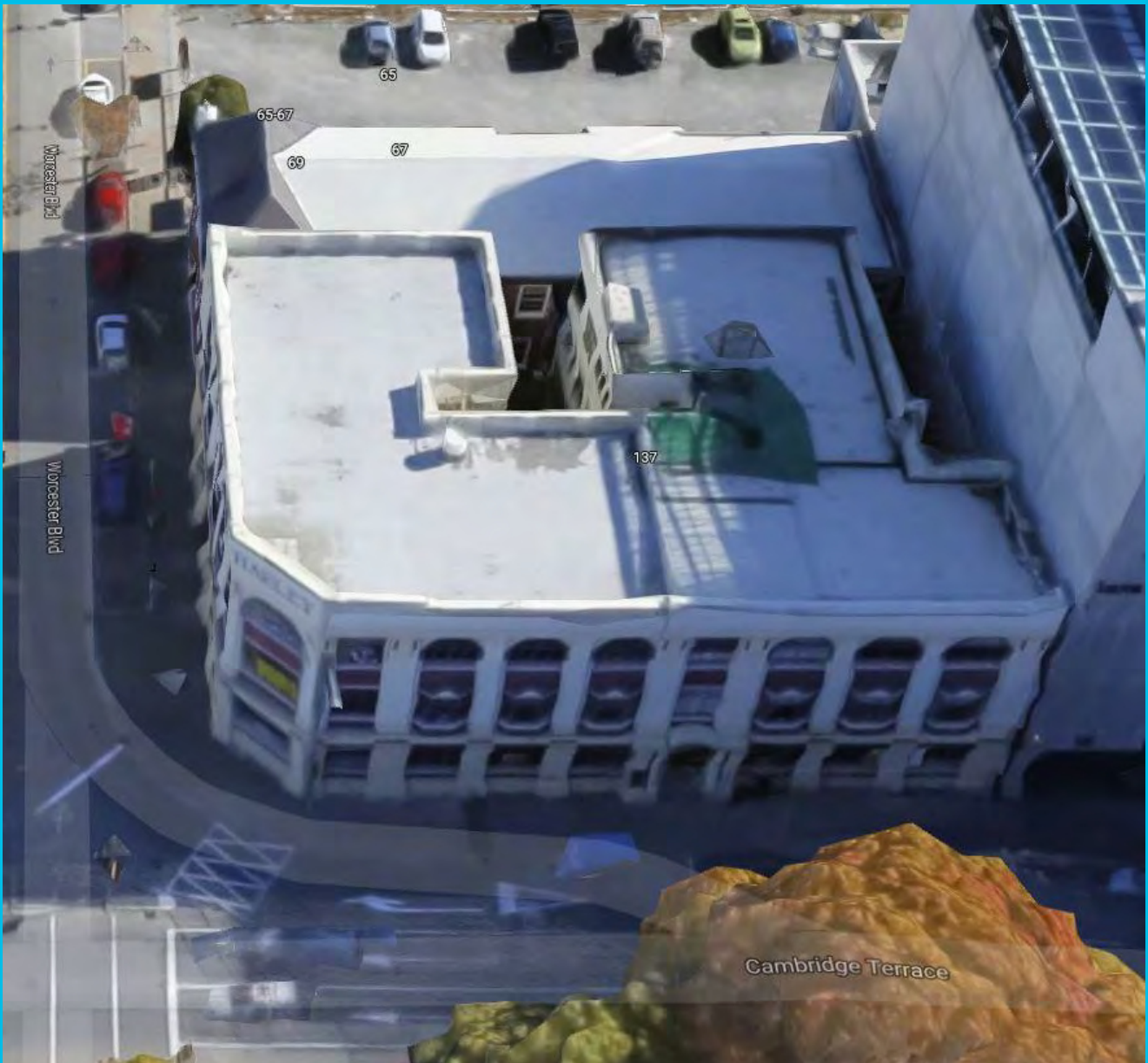
| Description   | Quantity | Unit | Rate   | Revised                    |
|---|----------|------|--------|----------------------------|
| <b>AECOM APPENDIX E - REVISED RETAINED FAÇADE Rev: 2</b>                  |          |      |        |                            |
| Demolition Work (extra for façade retention)                              |          |      |        | 267,000.00                 |
| Retainment Work   |          |      |        | 3,929,000.00               |
| Connection Work   |          |      |        | 217,000.00                 |
| Restoration Works   |          |      |        | 537,000.00                 |
| <b>1 TOTAL RETAINMENT, CONNECTION, RESTORATION</b>                        |          |      |        | <b>4,950,000.00</b>        |
| <b>CREDIT FOR RETAINED FAÇADE OVER NEW BUILD</b>                          |          |      |        |                            |
| <b>AECOM REPORT ITEM 3.2.1</b>  |          |      |        |                            |
| Credit for Retained Façade over New Build                                 | 820      | m2   | 800.00 | (656,000.00)               |
| <b>2 TOTAL CREDIT FOR RETAINED FAÇADE OVER NEW BUILD</b>                  |          |      |        | <b>(656,000.00)</b>        |
| <b>3 TOTAL VALUE TO RETAIN FAÇADE AND CONNECT TO NEW BUILDING (1 + 2)</b> |          |      |        | <b><u>4,294,000.00</u></b> |
| <b>4 BUILDING CONSENT (Item No. 504)</b>                                  |          | %    | 0.50   | 21,500.00                  |
| <b>5 CONSTRUCTION CONTINGENCY (Item No. 502)</b>                          |          | %    | 5.00   | 215,800.00                 |
| <b>6 PROFESSIONAL FEES (Item No. 503)</b>                                 |          | %    | 12.00  | 543,800.00                 |
| <b>TOTAL</b>  |          |      |        | <b>5,076,000.00</b>        |

Note total rounded up to nearest \$1,000



# Harley Chambers Redevelopment

## Cost Estimate Options



# Harley Chambers Redevelopment

## Cost Estimate Options

Client: Lee Pee Limited

Co No.: 1021359

Prepared by

**AECOM New Zealand Limited**

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22-Sep-2017

Job No.: 60545703

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## Quality Information

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60545703


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Date            22-Sep-2017

Prepared by   Keeley Pomeroy

Reviewed by   Ross Davidson

### Revision History

| Rev | Revision Date | Details                     | Authorised                                       |   |
|-----|---------------|-----------------------------|--|---|
|     |               |                             | Name/Position                                    | Signature   |
| 1   | 22-Sep-2017   | Issued for hearing evidence | Keeley Pomeroy<br>Principal Quantity<br>Surveyor |  |

| Project Contacts                                    |  |
|---|--|
| Structural Engineer:                                | Quoin Structural Consultants (previously Structex Metro Ltd) |
| Electrical, Mechanical, Hydraulics & Fire Engineer: | Cosgroves Limited  |
| Quantity Surveyor:                                  | AECOM  |

## Table of Contents

|            |  |    |
|------------|--|----|
| 1.0        | Basis of the Harley Chamber Estimates  | 5  |
| 2.0        | Building Reinstatement Options   | 6  |
| 2.1        | Option 1A: Building Reinstatement & Strengthening (34% NBS)                                    | 6  |
|            | 2.1.1 Estimate Summary   | 6  |
|            | 2.1.2 Specific Inclusions / Exclusions   | 6  |
| 2.2        | Option 1B: Building Reinstatement & Strengthening (67% NBS)                                    | 7  |
|            | 2.2.1 Estimate Summary   | 7  |
|            | 2.2.2 Specific Inclusions / Exclusions   | 7  |
| 2.3        | Option 1C: Building Reinstatement & Strengthening (100% NBS)                                   | 8  |
|            | 2.3.1 Estimate Summary   | 8  |
|            | 2.3.2 Specific Inclusions / Exclusions   | 8  |
| 3.0        | Building Replacement Options   | 9  |
| 3.1        | Replica Modern Replacement (100% NBS)  | 9  |
|            | 3.1.1 Estimate Summary   | 9  |
|            | 3.1.2 Specific Inclusions / Exclusions   | 9  |
| 3.2        | Option 2A: Retained Historic Façade with New Open Plan Office Building<br>Connected (100% NBS) | 10 |
|            | 3.2.1 Estimate Summary   | 10 |
|            | 3.2.2 Specific Inclusions / Exclusions   | 10 |
| 3.3        | Option 2B: New Open Plan Office (100% NBS)   | 11 |
|            | 3.3.1 Estimate Summary   | 11 |
|            | 3.3.2 Specific Inclusions / Exclusions   | 11 |
| Appendix A | Option 1A: 34% NBS   | A  |
| Appendix B | Option 1B: 67% NBS   | B  |
| Appendix C | Option 1C: 100% NBS  | C  |
| Appendix D | Replica Replacement  | D  |
| Appendix E | Façade Retention   | E  |

## 1.0 Basis of the Harley Chamber Estimates

Lee Pee Limited have engaged AECOM to provide cost estimates for a range of development options to the existing Harley Chambers and Worcester Chambers sites.

The cost estimates have been compiled by measuring and pricing approximate elemental quantities.

These reinstatement, retention, replacement and new concept building estimates are based on information provided by the consultant team as follows:-

- Quoin Structural Consultants email update to AECOM and Planz Consultants dated 02 August 2017
- Quoin Structural Consultants email update to Planz Consultants dated 18 May 2017
- Quoin Structural Consultants email and sketches for Façade Retention dated 8 September 2017
- Chapman Tripp updated repair strategy letter dated 05 August 2015 including Quoin Structural Consultants report and earthquake repair drawing plans, repair methodology and strategy. This repair strategy compilation includes Fire Services, Electrical, Mechanical and Hydraulics Services Condition Reports dated 09 & 22 July 2015
- AECOM and Quoin Structural Consultants earthquake repair work coordination meeting dated 19 August 2015
- AECOM, Chapman Tripp, Cunningham Lindsey, DLA Piper, Harrison QS, Lee Pee Ltd, Quoin Structural Consultants and Studio 21 Endel Lust Civil Engineer Ltd without prejudice meeting dated 03 September 2015
- Adler Glass Ltd quotation for replacing broken glass dated 22 September 2015
- Allserve Limited quotation for boiler, fresh air and domestic hot water system dated 16 August 2017
- Atlas Copco NZ Ltd quotation for air compressor including air receiver tank dated 14 August 2017
- Fulton Hogan quotation for helifix anchoring repairs dated 17 September 2015
- Mainland Security System Ltd quotation regarding security system dated 14 August 2017
- Piletech / The Fletcher Construction Company Ltd quotation for screw piles dated 21 September 2015
- South Island Shotcrete Ltd quotation for shotcrete, soil nail/tie back and related works dated 16 September 2015
- Dormer Construction Demolition quotation dated 31 May 2017

### **Area Schedule**

The areas utilised within this Cost Estimates are as follows:

| Harley Chambers Building Area | (m <sup>2</sup> ) |
|-------------------------------|-------------------|
| Gross Floor Area (GFA)        | 2,281             |
| Site Work Area                | 375               |

## 2.0 Building Reinstatement Options

### 2.1 Option 1A: Building Reinstatement & Strengthening (34% NBS)

#### 2.1.1 Estimate Summary

Our assessment of likely cost for the reinstatement and strengthening building works is \$12,800,000 (Twelve million eight hundred thousand dollars) broken down as follows and as attached:

|                                |                     |
|--------------------------------|---------------------|
| Building Work                  | 10,288,000          |
| External Work                  | 27,000              |
| Infrastructure Services        | <u>23,000</u>       |
|                                | 10,338,000          |
| Building Consent (0.50%)       | <u>52,000</u>       |
|                                | 10,390,000          |
| Construction Contingency (10%) | <u>1,039,000</u>    |
|                                | 11,429,000          |
| Professional Fees (12%)        | <u>1,371,000</u>    |
|                                | <u>\$12,800,000</u> |

#### 2.1.2 Specific Inclusions / Exclusions

Items specifically ***included*** in this Estimates are:

1. Asbestos Testing and Removal of Positive
2. Temporary Work (EG transfer structural steel truss, scaffoldings, propping and the like)
3. Fire Safety & Egress Works

Items specifically ***excluded*** from this estimate are:

1. Work Completed to Date
2. Tenant Fitouts
3. Legal and Financing Costs
4. Insurances
5. Escalation Provision Beyond the Date of this Estimate
6. GST



## 2.2 Option 1B: Building Reinstatement & Strengthening (67% NBS)

### 2.2.1 Estimate Summary

Our assessment of likely cost for the reinstatement and strengthening building works is \$17,070,000 (Seventeen million and seventy thousand dollars) broken down as follows and as attached:

|                                |                     |
|--------------------------------|---------------------|
| Building Work                  | 13,738,000          |
| External Work                  | 27,000              |
| Infrastructure Services        | <u>23,000</u>       |
|                                | 13,788,000          |
| Building Consent (0.50%)       | <u>69,000</u>       |
|                                | 13,857,000          |
| Construction Contingency (10%) | <u>1,386,000</u>    |
|                                | 15,243,000          |
| Professional Fees (12%)        | <u>1,827,000</u>    |
|                                | <u>\$17,070,000</u> |

### 2.2.2 Specific Inclusions / Exclusions

Items specifically ***included*** in this estimates are:

1. Asbestos Testing and Removal of Positive
2. Temporary Work (EG transfer structural steel truss, scaffoldings, propping and the like)
3. Sika Carbodur Strengthening Work to Columns and Floors
4. Fire Safety & Egress Works

Items specifically ***excluded*** from this estimate are:

1. Work Completed to Date
2. Tenant Fitouts
3. Legal and Financing costs
4. Insurances
5. Escalation Provision Beyond the Date of this Estimate
6. GST

## 2.3 Option 1C: Building Reinstatement & Strengthening (100% NBS)

### 2.3.1 Estimate Summary

Our assessment of likely cost for the reinstatement and strengthening building works is \$18,790,000 (Eighteen million seven hundred and ninety dollars) broken down as follows and as attached:

|                                |                     |
|--------------------------------|---------------------|
| Building Work                  | 15,124,000          |
| External Work                  | 27,000              |
| Infrastructure Services        | <u>23,000</u>       |
|                                | 15,174,000          |
| Building Consent (0.50%)       | <u>76,000</u>       |
|                                | 15,250,000          |
| Construction Contingency (10%) | <u>1,525,000</u>    |
|                                | 16,775,000          |
| Professional Fees (12%)        | <u>2,015,000</u>    |
|                                | <u>\$18,790,000</u> |

### 2.3.2 Specific Inclusions / Exclusions

Items specifically ***included*** in this estimate are:

1. Asbestos test and removal
2. Temporary Work (EG transfer structural steel truss, scaffoldings, propping and the like)
3. Sika Carbodur Strengthening Work to Columns and Floors
4. Fire Safety & Egress Works

Items specifically ***excluded*** from this estimate are:

1. Work Completed to Date
2. Tenant Fitouts
3. Legal and Financing costs
4. Insurances
5. Escalation Provision Beyond the Date of this Estimate
6. GST

## 3.0 Building Replacement Options

### 3.1 Replica Modern Replacement (100% NBS)

#### 3.1.1 Estimate Summary

Our assessment of likely building replacement cost is \$10,700,000 (Ten million seven hundred thousand dollars) broken down as follows:-

|   |                     |
|---|---------------------|
| Demolition  | 456,000             |
| Building Works (three level 2,281m <sup>2</sup> ) | 8,490,000           |
| External Works                                    | 78,000              |
| Infrastructure Services                           | <u>100,000</u>      |
|   | 8,668,000           |
| Building Consent                                  | <u>43,000</u>       |
|   | 8,711,000           |
| Construction Contingency (5%)                     | <u>436,000</u>      |
|   | 9,603,000           |
| Professional Fees (12%)                           | <u>1,097,000</u>    |
|   | <u>\$10,700,000</u> |

#### 3.1.2 Specific Inclusions / Exclusions

Items specifically **included** in this estimate are:

1. Design Development Uplift for Code Compliance

Items specifically **excluded** from this estimate are:

1. Tenant Fitouts
2. Legal and Financing Costs
3. Escalation Provision Beyond the Date of this Estimate
4. GST

### 3.2 Option 2A: Retained Historic Façade with New Open Plan Office Building Connected (100% NBS)

#### 3.2.1 Estimate Summary

Our assessment of likely building replacement cost is \$14,740,000 (Fourteen million seven hundred and forty thousand dollars) broken down as follows:-

|   |       |                |       |                     |
|---|-------|----------------|-------|---------------------|
| Demolition (Dormer Construction)          |       |                |       | 456,000             |
| Extra for Retained Façade                 |       |                |       | 4,950,000           |
| Building Works (three level)              | 2,281 | m <sup>2</sup> | 3,300 | 7,527,000           |
| Credit for Retained Façade over New Build | 820   | m <sup>2</sup> | 800   | (656,000)           |
| External Works                            |       |                |       | 100,000             |
| Infrastructure Services                   |       |                |       | 100,000             |
|   |       |                |       | 12,477,000          |
| Building Consent                          |       |                |       | <u>58,000</u>       |
|   |       |                |       | 12,535,000          |
| Construction Contingency (5%)             |       |                |       | <u>627,000</u>      |
|   |       |                |       | 13,162,000          |
| Professional Fees (12%)                   |       |                |       | <u>1,578,000</u>    |
|   |       |                |       | <u>\$14,740,000</u> |

#### 3.2.2 Specific Inclusions / Exclusions

Items specifically ***included*** in this estimate are:

1. Retention and Restoration of the Façade (Worcester Boulevard / Cambridge Terrace). See Appendix E for cost breakdown.

Items specifically ***excluded*** from this estimate are:

1. Tenant Fitouts
2. Legal and Financing costs
3. Escalation Provision Beyond the Date of this Estimate
4. GST

### 3.3 Option 2B: New Open Plan Office (100% NBS)

#### 3.3.1 Estimate Summary

Our assessment of likely building replacement cost is \$9,760,000 (Nine million seven hundred and sixty thousand dollars) broken down as follows:-

|                                  |                            |                    |
|----------------------------------|----------------------------|--------------------|
| Demolition (Dormer Construction) |                            | 456,000            |
| Building Works (three level)     | 2,281 m <sup>2</sup> 3,300 | 7,527,000          |
| External Works                   |                            | 100,000            |
| Infrastructure Services          |                            | <u>100,000</u>     |
|                                  |                            | 8,183,000          |
| Building Consent                 |                            | <u>41,000</u>      |
|                                  |                            | 8,224,000          |
| Construction Contingency (5%)    |                            | <u>411,000</u>     |
|                                  |                            | 8,635,000          |
| Professional Fees (12%)          |                            | <u>1,125,000</u>   |
|                                  |                            | <u>\$9,760,000</u> |

#### 3.3.2 Specific Inclusions / Exclusions

Items specifically **excluded** from this estimate are:

1. Tenant Fitouts
2. Legal and Financing costs
3. Escalation Provision Beyond the Date of this Estimate
4. GST

# Appendix A

Option 1A: 34% NBS

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1



PROJECT SUMMARY

| No. | Description                             | Quantity | Unit | Rate     | Total               |
|-----|---|----------|------|----------|---------------------|
| 1   | BUILDING WORKS                          | 2,281    | m2   | 4,510.27 | 10,288,000          |
| 2   | EXTERNAL WORKS                          | 375      | m2   | 73.16    | 27,000              |
| 3   | INFRASTRUCTURE SERVICES                 | 375      | m2   | 60.96    | <u>23,000</u>       |
|     |   |          |      |          | 10,338,000          |
| 4   | BUILDING CONSENT (Item No. 504)         |          | %    | 0.50     | <u>52,000</u>       |
|     |   |          |      |          | 10,390,000          |
| 5   | CONSTRUCTION CONTINGENCY (Item No. 502) |          | %    | 10.00    | <u>1,039,000</u>    |
|     |   |          |      |          | 11,429,000          |
| 6   | PROFESSIONAL FEES (Item No. 503)        |          | %    | 12.00    | <u>1,371,000</u>    |
|     |   |          |      |          | 1,371,000           |
|     | <b>Total</b>                            |          |      |          | <b>\$12,800,000</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1



| No. | Description                                   | Quantity | Unit | Rate   | Amount              | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|--------|---------------------|-----------------------|
| 1   | SITE PREPARATION                              | 2,281    | m2   | 995.05 | 2,269,714           | 995.05                |
| 2   | SUBSTRUCTURE                                  | 2,281    | m2   | 707.83 | 1,614,553           | 707.83                |
| 3   | FRAME   | 2,281    | m2   | 37.89  | 86,438              | 37.89                 |
| 4   | STRUCTURAL WALLS                              | 2,281    | m2   | 51.05  | 116,450             | 51.05                 |
| 5   | UPPER FLOORS                                  | 2,281    | m2   | 75.26  | 171,673             | 75.26                 |
| 6   | ROOF  | 2,281    | m2   | 9.43   | 21,500              | 9.43                  |
| 7   | EXTERIOR WALLS AND EXTERIOR FINISH            | 2,281    | m2   | 136.11 | 310,471             | 136.11                |
| 8   | WINDOWS AND EXTERIOR DOORS                    | 2,281    | m2   | 86.61  | 197,560             | 86.61                 |
| 9   | STAIRS AND BALUSTRADES                        | 2,281    | m2   | 39.54  | 90,180              | 39.54                 |
| 10  | INTERIOR WALLS                                | 2,281    | m2   | 290.78 | 663,266             | 290.78                |
| 11  | INTERIOR DOORS AND WINDOWS                    | 2,281    | m2   | 50.64  | 115,500             | 50.64                 |
| 12  | FLOOR FINISHES                                | 2,281    | m2   | 77.97  | 177,855             | 77.97                 |
| 13  | WALL FINISHES                                 | 2,281    | m2   | 160.58 | 366,290             | 160.58                |
| 14  | CEILING FINISHES                              | 2,281    | m2   | 93.06  | 212,275             | 93.06                 |
| 15  | FITTINGS AND FIXTURES                         | 2,281    | m2   | 30.69  | 70,000              | 30.69                 |
| 16  | SANITARY PLUMBING                             | 2,281    | m2   | 90.40  | 206,200             | 90.40                 |
| 17  | HEATING AND VENTILATION SERVICES              | 2,281    | m2   | 39.68  | 90,500              | 39.68                 |
| 18  | FIRE SERVICES                                 | 2,281    | m2   | 298.95 | 681,915             | 298.95                |
| 19  | ELECTRICAL SERVICES                           | 2,281    | m2   | 179.81 | 410,150             | 179.81                |
| 20  | VERTICAL AND HORIZONTAL TRANSPORTATION        | 2,281    | m2   | 32.88  | 75,000              | 32.88                 |
| 21  | SPECIAL SERVICES                              | 2,281    | m2   | 7.83   | 17,850              | 7.83                  |
| 22  | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00   | 396,267             | 173.73                |
| 23  | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00  | 1,003,633           | 440.00                |
| 24  | SCAFFOLDING & ACCESS                          | 2,281    | m2   | 75.98  | 173,300             | 75.98                 |
| 25  | MARGIN  |          | %    | 8.00   | 749,379             | 328.53                |
|     | <b>Total</b>                                  |          |      |        | <b>\$10,288,000</b> | <b>\$4,510.30</b>     |



**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1

| No.                     | Description  | Quantity | Unit | Rate     | Total   |
|-------------------------|--|----------|------|----------|---------|
| <b>SITE PREPARATION</b> |  |          |      |          |         |
| <u>Site Preparation</u> |  |          |      |          |         |
| 1                       | Asbestos further testing and removal (Item No. 403 - Provisional Sum)  |          | Sum  |          | 100,000 |
| 2                       | Remove furniture, fixings and equipments (FF&E) and store offsite (Item No. 405 as Provisional Sum)  |          | Sum  |          | 20,000  |
| 3                       | Remove and store internal pair of hardwood timber frame door including glazing and lead lights affected by Ground Floor slab removal (Item 101 b)  | 1        | No   | 1,000.00 | 1,000   |
| 4                       | Remove marble flooring and dispose offsite due to Ground Floor North and South section steel screw pile installation (Item No. 102 and 103)  | 15       | m2   | 65.00    | 975     |
| 5                       | Remove and clean pigeon dropping to existing floors, walls, ceiling bulkheads and sanitation of North and South Section (Item No. 402 as Provisional Sum)  |          | Sum  |          | 30,000  |
| 6                       | Remove existing carpet due to GF concrete slab removal, steel screw piles installation, block work and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)   | 1,676    | m2   | 10.00    | 16,760  |
| 7                       | Allow engineers full assessment of floors, walls and cracks after lifting floor finishes and removal of wall linings to North and South Section. This includes detailed dilapidation survey and report (Item No. 211, 301, 302, 303 and 419 as Provisional Sum). This is part of Professional Fee. |          | NOTE |          |         |
| 8                       | Remove and store timber base boards due to GF concrete slab removal, steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108, 116 and 210)  | 1,459    | m    | 15.00    | 21,885  |
| 9                       | Remove vinyl and dispose offsite due to steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)  | 164      | m2   | 20.00    | 3,280   |
| 10                      | Remove entry matwell due to Ground Floor North and South Section steel screw pile installation (Item No. 102 and 103)  | 3        | m2   | 100.00   | 300     |
| 11                      | Remove and store T&G floor and joists to Ground Floor North Section (Item No. 102)   | 241      | m2   | 75.00    | 18,075  |
| 12                      | Remove and store T&G floor and joist to Ground Floor South Section (Item No. 103)  | 373      | m2   | 75.00    | 27,975  |
| 13                      | Remove and store external glazed steel casement windows including transom, frame, hardware and finish (Item No. 405)   | 277      | m2   | 300.00   | 83,100  |
| 14                      | Remove and store external glazed steel bay windows including transom, frame, hardware and finish (Item No. 405)  | 64       | m2   | 350.00   | 22,400  |
| 15                      | Remove and store external glazed steel casement windows including semi-circle top, transom, frame, hardware and finish (Item No. 405)  | 60       | m2   | 400.00   | 24,000  |
| 16                      | Remove and store external glass louvre windows to toilet (Item No. 405)  | 9        | No   | 150.00   | 1,350   |
| 17                      | Remove and store pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish (Item No. 405)   | 1        | No   | 750.00   | 750     |
| 18                      | Remove and store of exterior quality solid core door (1.8m x 2.1m) including transom, frame, hardware and finish (Item No. 405)  | 1        | No   | 600.00   | 600     |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total  |
|-----|--|----------|------|----------|--------|
| 19  | Remove and store single exterior quality solid core door including transom, frame, hardware and finish (Item No. 405)  | 2        | No   | 150.00   | 300    |
| 20  | Remove and store pair of hardwood timber door frame doors including glazing, hardware and finish due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103, 209 and 405)              | 2        | No   | 1,000.00 | 2,000  |
| 21  | Remove and store lead lights due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103 and 405)   | 4        | No   | 300.00   | 1,200  |
| 22  | Remove and store single hardwood timber solid core paint grade door including frame, hardware and finish due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405) | 100      | No   | 200.00   | 20,000 |
| 23  | Remove and store single hardwood timber solid core paint grade slider door including frame, hardware and finish due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b and 103)               | 1        | No   | 200.00   | 200    |
| 24  | Remove and store door vision panels due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b, 102 and 103)  | 10       | No   | 200.00   | 2,000  |
| 25  | Remove and store door closer due to Ground Floor concrete slab removal, steel screw pile installation and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 12       | No   | 55.00    | 660    |
| 26  | Remove and store single proprietary FRR doors -/60/60 complete due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 4        | No   | 200.00   | 800    |
| 27  | Remove and store single glazed timber window including frame, hardware and finish due to Ground floor concrete slab removal and steel screw piles and misaligned doors (Item No. 101 b, 102, 103 and 405)                          | 10       | m2   | 250.00   | 2,500  |
| 28  | Remove and dispose offsite broken glazing to doors and windows (Item No. 206)  |          | Sum  |          | 5,000  |
| 29  | Bobcat mobilization and demobilization North Section (Item No. 101 b)  |          | Sum  |          | 1,000  |
| 30  | Loader mobilization and demobilization North Section (Item No. 101 b)  |          | Sum  |          | 2,000  |
| 31  | Pile rigger 12 Tonner mobilization and demobilization (Item No. 101 b)   |          | Sum  |          | 2,000  |
| 32  | Remove existing ceiling linings and dispose offsite (Item No. 201 and 202)   | 1,938    | m2   | 31.40    | 60,800 |
|     | <u>Demolition</u>  |          |      |          |        |
| 33  | Remove concrete encasement to existing steel columns and dispose offsite due to Ground Floor temporary transfer truss installation North Section (Item No. 101 b and c i as Provisional Sum)                                       |          | Sum  |          | 4,000  |
| 34  | Demolish existing 125 reinforced concrete walls and dispose offsite due to Ground Floor concrete slab removal North Section (Item No. 101 b and c j)   | 17       | m2   | 700.00   | 11,900 |
| 35  | Demolish existing bell block walls and dispose offsite due to Ground Floor concrete slab removal North Section (Item No. 101 b and c j)  | 92       | m2   | 80.00    | 7,360  |
| 36  | Demolish existing 150 reinforced concrete floor slab to Ground Floor North Section and dispose offsite (Item No. 101 b, c iii and 104)   | 101      | m2   | 800.00   | 80,800 |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total   |
|-----|--|----------|------|----------|---------|
| 37  | Demolish existing 200 x 350 reinforced concrete beams to Basement North Section and dispose offsite (Item No. 101 b and c iii)   | 13       | m    | 750.00   | 9,758   |
| 38  | Demolish existing 200 x 200 reinforced concrete column to Basement North Section and dispose offsite (Item No. 101 b and c v)  | 6        | m    | 650.00   | 3,900   |
| 39  | Demolish existing stair walls and coal chute walls to Basement North Section and dispose offsite (Item No. 101 b and c v)  | 35       | m2   | 80.00    | 2,800   |
| 40  | Demolish existing 250 reinforced concrete walls to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 57       | m2   | 1,280.00 | 72,960  |
| 41  | Demolish existing 300 reinforced concrete walls to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 54       | m2   | 1,500.00 | 81,000  |
| 42  | Demolish existing 300 x 900 reinforced concrete columns to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 20       | m    | 950.00   | 19,000  |
| 43  | Demolish existing 250 reinforced concrete floor slab to Basement North section and dispose offsite (Item No. 101 b and c v)  | 101      | m2   | 1,100.00 | 111,100 |
| 44  | Demolish existing reinforced concrete stairs and landings to Basement North section and dispose offsite (Item No. 101 b and c v)   |          | Sum  |          | 8,000   |
| 45  | Demolish existing lift pit, walls and roof to North Section and dispose offsite (Item No. 125)   | 216      | m2   | 1,280.00 | 276,480 |
| 46  | Demolish existing reinforced concrete strip footing to Ground Floor North Section and dispose offsite (Item No. 101, 102, 103 and 105)   | 167      | m    | 1,200.00 | 199,836 |
| 47  | Demolish existing bell block walls affected by steel screw piling installation to North / South Section and due to bell block walls demolition Ground to Second Floor North Section then dispose offsite (Item No. 102, 103 and 105) | 1,086    | m2   | 80.00    | 86,880  |
| 48  | Demolish existing external double brick walls to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 61       | m2   | 120.00   | 7,320   |
| 49  | Demolish existing 300 x 900 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)  | 4        | m    | 1,400.00 | 5,600   |
| 50  | Demolish existing 600 x 1400 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)   | 4        | m    | 3,250.00 | 13,000  |
| 51  | Demolish brick infill along interior wall line between North and South Section (Drawing No. SKR2, 3, 4 Item No. 107)   | 43       | m2   | 80.00    | 3,440   |
|     | <u>Temporary transfer truss, beams, foundation and piles to Ground Floor North Section (Item No. 101 b and c i)</u>  |          |      |          |         |
| 52  | 380 PFC transfer truss columns, primed   | 1,690    | kg   | 8.00     | 13,520  |
| 53  | 380 PFC transfer truss beams, primed   | 3,083    | kg   | 8.00     | 24,664  |
| 54  | 380 PFC transfer truss diagonal beams, primed  | 1,705    | kg   | 8.00     | 13,640  |
| 55  | Secondary steelwork (not detailed)   | 648      | kg   | 8.00     | 5,184   |
| 56  | Miscellaneous plates and cleats  | 972      | kg   | 18.00    | 17,496  |
| 57  | Allow for complex installations and substantial fixings through existing columns (Provisional Sum)   |          | Sum  |          | 7,500   |
| 58  | Paint to steelwork - part of overall health and safety (OHS)   | 113      | m2   | 40.00    | 4,520   |
| 59  | Remove temporary transfer truss after completing all related work (Provisional Sum)  |          | Sum  |          | 10,000  |
|     | <u>Temporary lateral braces to main columns of Basement, Ground and First Floor North Section (Item No. 101 b and c iv)</u>  |          |      |          |         |
| 60  | 380 PFC lateral columns, primed  | 622      | kg   | 8.00     | 4,976   |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1



| No. | Description   | Quantity | Unit | Rate     | Total            |
|-----|---|----------|------|----------|------------------|
| 61  | 380 PFC lateral beams, primed   | 3,257    | kg   | 8.00     | 26,056           |
| 62  | 380 PFC lateral hangers to truss, primed  | 431      | kg   | 8.00     | 3,448            |
| 63  | Secondary steelwork (not detailed)  | 431      | kg   | 8.00     | 3,448            |
| 64  | Miscellaneous plates and cleats   | 647      | kg   | 18.00    | 11,646           |
| 65  | Provide substantial fixings through existing columns, beams and post down to floor (Provisional Sum)                                  |          | Sum  |          | 4,000            |
| 66  | Paint to steelwork - part of overall health and safety (OHS)  | 75       | m2   | 40.00    | 3,000            |
| 67  | Remove temporary lateral braces after completing all related work (Provisional Sum)   |          | Sum  |          | 9,000            |
|     | <u>Substructure Construction</u>  |          |      |          |                  |
| 68  | Bulk excavation and dispose off-site (Item No. 101 b and c vi)  | 665      | m3   | 120.00   | 79,800           |
| 69  | Imported backfill material (Item No. 101 b and c xvii)  | 665      | m3   | 65.00    | 43,225           |
| 70  | Bulk imported hardfill - lay 750mm compacted hardfill in 200mm maximum layers over base of excavation (Item No. 101 b and c ix)       | 94       | m3   | 95.00    | 8,930            |
| 71  | 50 site concrete (Item No. 101 b and c x)   | 7        | m3   | 250.00   | 1,750            |
| 72  | Removal and dumping of stockpiled soils (Item No. 101 b)  | 96       | m3   | 85.00    | 8,160            |
| 73  | Underpin existing east side foundation in 1.2m section 'Hit and Miss' adjacent to basement (Item No. 101 b and c vii)                 |          | Sum  |          | 80,000           |
|     | <u>Basement Construction</u>  |          |      |          |                  |
| 74  | Dewatering for basement excavation (Item No. 101 b and c ii as Provisional Sum)   |          | Sum  |          | 200,000          |
| 75  | Bulk basement excavation (Item No. 101 b and c vi)  | 761      | m3   | 75.00    | 57,075           |
| 76  | Allow difficulty of equipment and excavation access (Item 101 b and c vi as Provisional Sum)  |          | Sum  |          | 60,000           |
|     | <u>Temporary retaining shotcrete walls - see South Island Shotcrete quotation dated 16 September 2015 (Item No. 101 b and c viii)</u> |          |      |          |                  |
| 77  | Supply, pump and spray 40MPa shotcrete concrete with an "off the nozzle" finish (vertical area = 150m2, 100mm thick)                  | 15       | m3   | 880.00   | 13,200           |
| 78  | Extra over waterproof additive  | 15       | m3   | 132.00   | 1,980            |
| 79  | Supply and install 1 layer of SE62 ductile mesh   | 150      | m2   | 27.50    | 3,500            |
| 80  | Subcontractor site establishment and disestablishment for soil nail rig   |          | Sum  |          | 2,500            |
| 81  | Soil nailing and tie backs 3.5m deep approximately 1 row at 1.5m spacing  | 34       | No   | 1,320.00 | 44,880           |
| 82  | Extra over shotcrete along sloped area (166m2, 100mm thick) and not vertical as per quote (Provisional Quantity)                      | 2        | m3   | 880.00   | 1,760            |
| 83  | Extra over supply and install 1 layer of SE62 ductile mesh (166m2 - 150m2 = 16m2)   | 16       | m2   | 27.50    | 373              |
| 84  | Extra over soil nailing and tie backs to other side (Provisional Quantity)  | 17       | No   | 1,320.00 | 22,440           |
|     | <b>Total</b>  |          |      |          | <b>2,269,714</b> |
|     | <b>SUBSTRUCTURE</b>   |          |      |          |                  |
|     | <u>Substructure Construction</u>  |          |      |          |                  |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1



| No.                          | Description  | Quantity | Unit | Rate     | Total            |
|------------------------------|--|----------|------|----------|------------------|
| 85                           | Reinstate T&G timber floor on 50 x 125 joists and 75 x 200 sleepers on bearers including R1.8 insulation, excavation and disposal to Ground Floor North Section (Item No. 102) | 241      | m2   | 190.00   | 45,790           |
| 86                           | Reinstate T&G timber floor on 50 x 125 joists and 75 x 200 sleepers on bearers including R1.8 insulation, excavation and disposal to Ground Floor South Section (Item No. 103) | 373      | m2   | 190.00   | 70,870           |
| 87                           | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor North Section (Item No. 102)            | 114      | m    | 920.00   | 104,760          |
| 88                           | 500 x 500 reinforced concrete underpin beams including formwork, excavation and disposal over steel screw piles Ground Floor North Section (Item No. 102)                      | 76       | m    | 385.00   | 29,087           |
| 89                           | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor South Section (Item No. 103)            | 176      | m    | 920.00   | 161,754          |
| 90                           | 500 x 500 reinforced concrete underpin beams including formwork, excavation and disposal over steel screw piles Ground Floor South Section (Item No. 103)                      | 221      | m    | 385.00   | 85,216           |
| 91                           | 300 reinforced concrete lift pit including sump, formwork, excavation and disposal (Item No. 125)  | 1        | No   | 7,700.00 | 7,700            |
| 92                           | 600 x 600 reinforced concrete strip footing including formwork, excavation and disposal (Item No. 101, 102, 103 & 105)   | 167      | m    | 425.00   | 70,775           |
| <u>Basement Construction</u> |  |          |      |          |                  |
| 93                           | 400 reinforced concrete basement floor slab including tanking and water stops to Basement North Section (Item No. 101 b and c xi xiv)  | 101      | m2   | 1,200.00 | 121,200          |
| 94                           | 250 reinforced concrete basement wall including tanking and water stops (Item No. 101 b and c xi xiii xiv)   | 57       | m2   | 800.00   | 45,600           |
| 95                           | 300 reinforced concrete basement wall including tanking and water stops (Item No. 101 b and c xi xiii xiv)   | 54       | m2   | 1,000.00 | 54,000           |
| <u>Piling</u>                |  |          |      |          |                  |
| 96                           | 168 dia steel screw piles to an average of 3m deep (88 No.) to Ground Floor North Section - see Piletech email high level quotation dated 21 September 2015 (Item No. 102)     | 88       | No   | 2,273.00 | 200,000          |
| 97                           | Supply and install structural steel angle fixed to new foundation beam and pile caps - Ground Floor North Section (Item No. 102)   | 88       | No   | 1,500.00 | 132,000          |
| 98                           | Jack, pack and grout screw piles (40 No.) to Ground Floor North Section (Item No. 102 as Provisional Sum)  |          | Sum  |          | 100,000          |
| 99                           | 168 dia steel screw piles to an average of 3m deep (89 No.) to Ground Floor South Section (Item No. 103)   | 89       | No   | 2,273.00 | 202,300          |
| 100                          | Supply and install structural steel angle fixed to new foundation beam and pile caps - Ground Floor South Section (Item No. 102)   | 89       | No   | 1,500.00 | 133,500          |
| 101                          | Jack, pack and grout screw piles (8 No.) to Ground Floor South Section (Item No. 103 as Provisional Sum)   |          | Sum  |          | 50,000           |
| <b>Total</b>                 |  |          |      |          | <b>1,614,553</b> |
| <b>FRAME</b>                 |  |          |      |          |                  |
| <u>Structural Steel</u>      |  |          |      |          |                  |
| 102                          | 150x6 SHS columns, primed to Basement North Section (Item No. 101 b and c xiv)   | 208      | kg   | 8.00     | 1,664            |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1



| No.                     | Description  | Quantity | Unit | Rate     | Total          |
|-------------------------|--|----------|------|----------|----------------|
| 103                     | Secondary steelwork to Basement North Section (not detailed - Item No. 101 b and c xiv)  | 21       | kg   | 8.00     | 168            |
| 104                     | Miscellaneous plates and cleats to Basement North Section (Item No. 101 b and c xiv)   | 32       | kg   | 18.00    | 576            |
| 105                     | Intumescent paint to steelwork Basement North Section (Item No. 101 b and c xiv)   | 2        | m2   | 150.00   | 300            |
| <u>In situ Concrete</u> |  |          |      |          |                |
| 106                     | 300 x 600 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)   | 11       | m    | 480.00   | 5,280          |
| 107                     | 800 x 800 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)   | 3        | m    | 1,200.00 | 3,600          |
| 108                     | 900 x 1400 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)  | 3        | m    | 2,150.00 | 6,450          |
| 109                     | 200 x 350 reinforced concrete beams to Basement North Section (Item No. 101 b and c xviii)   | 13       | m    | 250.00   | 3,250          |
| 110                     | 450 x 600 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)  | 4        | m    | 700.00   | 2,800          |
| 111                     | 600 x 1400 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)   | 4        | m    | 1,780.00 | 7,120          |
| 112                     | Concrete crack epoxy injection to exterior plastered columns North Section (Item No. 112)  | 25       | m    | 250.00   | 6,250          |
| 113                     | Concrete crack epoxy injection to exterior plastered beams North Section (Item No. 113)  | 25       | m    | 250.00   | 6,250          |
| 114                     | Concrete crack epoxy injection to exterior plastered columns South Section (Item No. 114)  | 25       | m    | 250.00   | 6,250          |
| 115                     | Concrete crack epoxy injection to exterior plastered beams South Section (Item No. 115)  | 25       | m    | 250.00   | 6,250          |
| <u>Roof</u>             |  |          |      |          |                |
| 116                     | 225 x 225 reinforced concrete bond beam to parapet North Section (Drawing No. SKR4 Item No. 118)   | 42       | m    | 330.00   | 13,860         |
| 117                     | Drill and epoxy H12 starter reinforcing bar into all adjacent piers and beams to parapet North Section (Drawing No. SKR4 Item No. 118)           | 226      | No   | 50.00    | 11,300         |
| 118                     | 225 x 225 reinforced concrete bond beam to parapet South Section (Item No. 119)  | 9        | m    | 330.00   | 2,970          |
| 119                     | Drill and epoxy H12 starter reinforcing bar into all adjacent piers and beams to parapet North Section (Item No. 119)                            | 42       | No   | 50.00    | 2,100          |
| <b>Total</b>            |  |          |      |          | <b>86,438</b>  |
| <b>STRUCTURAL WALLS</b> |  |          |      |          |                |
| 120                     | 270 reinforced concrete insitu wall including formwork and reinforcement to lift well Basement to roof North Section (Item No. 125, 126 and 127) | 170      | m2   | 685.00   | 116,450        |
| <b>Total</b>            |  |          |      |          | <b>116,450</b> |
| <b>UPPER FLOORS</b>     |  |          |      |          |                |
| 121                     | 150 reinforced concrete topping on interspan suspended floor system to Ground Floor North Section (Item No. 101 b, c xviii and 104)              | 101      | m2   | 250.00   | 25,203         |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1

| No.                                       | Description   | Quantity | Unit | Rate   | Total          |
|---|---|----------|------|--------|----------------|
| 122                                       | 150 reinforced concrete topping on interspan suspended floor system due to reconstruct lift shaft and walls from Basement to Roof North Section (Item No. 101 b)  | 1        | m2   | 250.00 | 250            |
| 123                                       | Drill and epoxy H12 reinforcing starter bars (L=200) spaced at 400 into existing floors (Item No. 101 b)  | 124      | No   | 30.00  | 3,720          |
| 124                                       | 150 x 350 deep rib beams in 600 long sections within existing First to Second Floor North Section to accomodate starters for block walls that do not align with existing floor ribs (Drawing No. SKR20 Item No. 105)  | 50       | m    | 250.00 | 12,500         |
| 125                                       | Concrete crack epoxy injection to concrete floors (First Floor = 180m, Second Floor = 340m) North and South Section (Drawing No. SKR15, 16 Item No. 116)  | 520      | m    | 250.00 | 130,000        |
| <b>Total</b>                              |   |          |      |        | <b>171,673</b> |
| <b>ROOF</b>                               |   |          |      |        |                |
| 126                                       | Remove and reinstate existing sections of light weight roof and membrane (Drawing SKR4 Item No. 212 as Provisional Quantity)  | 100      | m2   | 180.00 | 18,000         |
| 127                                       | 150 reinforced suspended floor system with waterproofing membrane to roof slab lift shat North Section (Item No. 128)   | 10       | m2   | 350.00 | 3,500          |
| <b>Total</b>                              |   |          |      |        | <b>21,500</b>  |
| <b>EXTERIOR WALLS AND EXTERIOR FINISH</b> |   |          |      |        |                |
| 128                                       | 240 reinforced blockwork walls with plaster finish to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 61       | m2   | 360.00 | 21,960         |
| 129                                       | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 314      | No   | 50.00  | 15,700         |
| 130                                       | HR10 reinforcing bar spaced at 200 links over windows to First - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 71       | No   | 25.00  | 1,775          |
| 131                                       | Remove 25mm thick internal plaster for installation of Helifix ties and replaster to North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 215      | m2   | 90.00  | 19,350         |
| 132                                       | Supply and installation of Helifix ties at 400 centres each way and at 200 centres to perimeter of windows to North Section - Fulton Hogan supply and installation of Helifix quotation (without plaster and paint) for Helifix dated 17 September 2015 for 2000 numbers (Drawing No. SKR2, 3, 4 Item No. 109). Add 10% for unit rate increase. | 215      | m2   | 240.00 | 51,600         |
| 133                                       | Paint to external walls due to Helifix installation to North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 215      | m2   | 40.00  | 8,600          |
| 134                                       | 240 reinforced blockwork walls (L=5m) with plaster to South Section (Item No. 110)  | 16       | m2   | 360.00 | 5,760          |
| 135                                       | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors to South Section (Item No. 110)   | 254      | No   | 50.00  | 12,700         |
| 136                                       | Remove existing brick parapet and replace 240 reinforced blockwork walls with plaster finish to Roof parapet wall North Section (Drawing No. SKR4 Item No. 117 and 213)   | 7        | m2   | 425.00 | 2,975          |
| 137                                       | Drill and epoxy H12 starter reinforcing bar (L=1000) spaced at 200 into piers and 300 into beams to Roof parapet wall North Section (Drawing No. SKR4 Item No. 117 and 213)   | 59       | No   | 50.00  | 2,950          |
| 138                                       | Concrete crack epoxy injection to parapet walls North Section Cambridge Tce frontage (Item No. 120)   | 20       | m    | 250.00 | 5,000          |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1

| No.                               | Description   | Quantity | Unit | Rate      | Total          |
|-----------------------------------|---|----------|------|-----------|----------------|
| 139                               | Concrete crack epoxy injection to parapet walls South Section Cambridge Tce and Worcester frontages (Item No. 121)  | 20       | m    | 250.00    | 5,000          |
| 140                               | Concrete crack epoxy injection to exterior walls North and South Section (Item No. 205)   | 520      | m    | 250.00    | 130,000        |
| 141                               | Paint to external walls due to wall repair to South Section (Item No. 117, 120, 205 and 213)  | 600      | m2   | 40.00     | 24,000         |
| 142                               | Allow new joint flashing to exterior walls North Section and new building adjacent to the boundary (Item No. 208)   | 26       | m    | 120.00    | 3,101          |
| <b>Total</b>                      |   |          |      |           | <b>310,471</b> |
| <b>WINDOWS AND EXTERIOR DOORS</b> |   |          |      |           |                |
| 143                               | Reinstall and make good external glazed steel casement windows including transom, frame, hardware and finish (Item No. 405)   | 277      | m2   | 450.00    | 124,650        |
| 144                               | Reinstall and make good external glazed steel bay windows including transom, frame, hardware and finish (Item No. 405)  | 64       | m2   | 500.00    | 32,000         |
| 145                               | Reinstall and make good external glazed steel casement windows including semi-circle top, transom, frame, hardware and finish (Item No. 405)                              | 60       | m2   | 600.00    | 36,000         |
| 146                               | Reinstall and make good external glass louvre windows to toilet (Item No. 405)  | 9        | No   | 200.00    | 1,800          |
| 147                               | Rehang, install and make good pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish (Item No. 209 and 405)                 | 1        | No   | 1,500.00  | 1,500          |
| 148                               | Rehang, install and make good pair of exterior quality solid core door (1.8m x 2.1m) including transom, frame, hardware and finish (Item No. 209 and 405)                 | 1        | No   | 1,000.00  | 1,000          |
| 149                               | Rehang, install and make good single exterior quality solid core door including transom, frame, hardware and finish (Item No. 209 and 405)                                | 2        | No   | 250.00    | 500            |
| 150                               | Remove all door barrel bolts for egress and make good (Item No. 405 and Cosgrove report)  | 2        | No   | 55.00     | 110            |
| <b>Total</b>                      |   |          |      |           | <b>197,560</b> |
| <b>STAIRS AND BALUSTRADES</b>     |   |          |      |           |                |
| 151                               | Reinforced concrete in-situ stair including landing to Basement (Item No. 101 b and c xvi)  | 1        | No   | 25,000.00 | 25,000         |
| 152                               | Allowance for steel plate connectors to underside of flights at landings and slabs - 800x200x16 MS bent flats - 2 per section to main stairs North Section (Item No. 130) | 12       | No   | 1,400.00  | 16,800         |
| 153                               | Rake out and epoxy connections to existing floors at each level to main stairs North Section (Item No. 130)   | 12       | sets | 990.00    | 11,880         |
| 154                               | Reinstatement of marble finishes with alternative product (PC Sum for Supply \$400m2) to main stairs North Section (Item No. 130)   | 20       | m2   | 800.00    | 16,000         |
| 155                               | Provisional allowance for SHS supports posts at connections to upper floors - main stairs North Section (Item No. 130)  |          | Sum  |           | 20,500         |
| <b>Total</b>                      |   |          |      |           | <b>90,180</b>  |
| <b>INTERIOR WALLS</b>             |   |          |      |           |                |
| 156                               | 190 reinforced blockwork walls with plaster finish to stair and coal chute walls Basement North Section (Item No. 101 b and c xvi)  | 35       | m2   | 310.00    | 10,850         |



**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1



| No.                               | Description  | Quantity | Unit | Rate     | Total          |
|-----------------------------------|--|----------|------|----------|----------------|
| 157                               | 125 reinforced concrete insitu wall including formwork to Ground Floor North Section affected by slab removal (Item No. 101 b, c viii and 108)   | 17       | m2   | 490.00   | 8,330          |
| 158                               | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent beams affected by Ground Floor slab removal North Section (Item No. 101 b and c viii)  | 26       | No   | 50.00    | 1,300          |
| 159                               | 140 reinforced blockwork walls including plaster finish both sides to Ground Floor North Section affected by slab removal (Item No. 101 b and c viii)  | 92       | m2   | 270.00   | 24,840         |
| 160                               | 140 reinforced blockwork walls including plaster finish both sides affected by Ground Floor steel screw piling installation North Section and due to bell block walls demolition Ground to Second Floor North Section (Item No. 102, 103 and 105)  | 1,086    | m2   | 270.00   | 293,220        |
| 161                               | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors affected by Ground Floor steel screw piling installation North / South Section and due to bell block walls demolition Ground to Second Floor North Section (Item No. 102, 103 and 105) | 4,835    | No   | 50.00    | 241,750        |
| 162                               | Concrete crack epoxy injection to partition walls South Section (Drawing No. SKR2, 3, 4 Item No. 106)  | 100      | m    | 250.00   | 25,000         |
| 163                               | 240 reinforced blockwork walls with plaster finish along interior wall line between North and South Section (Drawing No. SKR2, 3, 4 Item No. 107)  | 43       | m2   | 360.00   | 15,480         |
| 164                               | 300 x 300 x 10 plates bolted with M16 chemsets to concrete as connectors to junction of North and South Section (Item No. 122, 123 and 124)  | 40       | No   | 360.00   | 14,336         |
| 165                               | Allow to epoxy inject gap between concrete frames - both sides to junction of North and South Section (Item No. 122,123 and 124)   | 44       | m    | 460.00   | 20,240         |
| 166                               | Allow to plaster repairs both sides of junction between North and South Section (Item No. 122,123 and 124)   | 44       | m    | 180.00   | 7,920          |
| <b>Total</b>                      |  |          |      |          | <b>663,266</b> |
| <b>INTERIOR DOORS AND WINDOWS</b> |  |          |      |          |                |
| 167                               | Rehang and make good pair of hardwood timber door frame doors including glazing, hardware and finish due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103, 209 and 405)  | 2        | No   | 1,500.00 | 3,000          |
| 168                               | Repair and make good lead lights due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103)   | 4        | No   | 500.00   | 2,000          |
| 169                               | Rehang and make good single hardwood timber solid core paint grade door including frame, hardware and finish due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 100      | No   | 300.00   | 30,000         |
| 170                               | Rehang and make good single hardwood timber solid core paint grade slider door including frame, hardware and finish due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b and 103)   | 1        | No   | 300.00   | 300            |
| 171                               | Repair and make good to vision panel due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b, 102 and 103)   | 10       | No   | 250.00   | 2,500          |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1



| No. | Description   | Quantity | Unit | Rate   | Total          |
|-----|---|----------|------|--------|----------------|
| 172 | Reinstall door closer due to Ground Floor concrete slab removal, steel screw pile installation and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 12       | No   | 150.00 | 1,800          |
| 173 | Rehang and make good single proprietary FRR doors -/60/30 complete due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)  | 4        | No   | 500.00 | 2,000          |
| 174 | Repair, reinstall and make good single glazed timber window including frame, hardware and finish due to Ground floor concrete slab removal and steel screw piles and misaligned doors (Item No. 101 b, 102 and 103)                           | 10       | m2   | 350.00 | 3,500          |
| 175 | Replace broken glazing to doors and windows - see Adler Glass quotation dated 22 September 2015 = \$49,503.53 say \$50,000 excluding GST (Item No. 206 and 207)   |          | Sum  |        | 50,000         |
| 176 | Remove all door barrel bolts for egress and make good (Item No. 405 and Cosgrove report)  | 102      | No   | 200.00 | 20,400         |
|     | <b>Total</b>  |          |      |        | <b>115,500</b> |
|     | <b>FLOOR FINISHES</b>   |          |      |        |                |
| 177 | Marble flooring laid on mortar bed due to Ground Floor North and South section steel screw pile installation (Item No. 102 and 103)   | 15       | m2   | 520.00 | 7,800          |
| 178 | New carpet due to GF concrete slab removal, steel screw piles installation, block work and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)  | 1,676    | m2   | 70.00  | 117,320        |
| 179 | Reinstate and make good timber base boards due to GF concrete slab removal, steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108, 116 and 210)      | 1,459    | m    | 25.00  | 36,475         |
| 180 | Sheet vinyl with welded joints and coved edge including Hydroproxy to concrete due to steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116) | 164      | m2   | 90.00  | 14,760         |
| 181 | New entry matwell due to Ground Floor North and South Section steel screw pile installation (Item No. 102 and 103)  | 3        | m2   | 500.00 | 1,500          |
|     | <b>Total</b>  |          |      |        | <b>177,855</b> |
|     | <b>WALL FINISHES</b>  |          |      |        |                |
| 182 | Remove and replace 13 Gibboard both sides including skirting to North and South Section (Item No. 203 and 204)  | 966      | m2   | 205.00 | 198,030        |
| 183 | Remove and replace 13 Aqualine including skirting to North and South Section (Item No. 203 and 204)   | 44       | m2   | 130.00 | 5,720          |
| 184 | Paint to existing walls including making good to North and South Section (Item No. 203 and 204)   | 3,024    | m2   | 35.00  | 105,840        |
| 185 | Marble walls to entry foyer   | 18       | m2   | 550.00 | 9,900          |
| 186 | Ceramic tiles to toilets  | 195      | m2   | 240.00 | 46,800         |
|     | <b>Total</b>  |          |      |        | <b>366,290</b> |
|     | <b>CEILING FINISHES</b>   |          |      |        |                |
| 187 | Paint on 13 Gibboard on 50 ceiling battens (Item No. 201 and 202)   | 1,729    | m2   | 95.00  | 164,255        |
| 188 | Paint on 13 Aqualine on 50 ceiling battens (Item No. 201 and 202)   | 77       | m2   | 105.00 | 8,085          |
| 189 | Acoustic ceiling on 50 timber battens (Item No. 201 and 202)  | 43       | m2   | 150.00 | 6,450          |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1



| No.                                       | Description   | Quantity | Unit | Rate  | Total          |
|---|---|----------|------|-------|----------------|
| 190                                       | Mineral fibre ceiling tiles in metal suspension grid (Item No. 201 and 202)   | 89       | m2   | 65.00 | 5,785          |
| 191                                       | Ceiling cornice (Item No. 201 and 202)  | 886      | m    | 30.00 | 26,580         |
| 192                                       | Paint to existing ceilings including making good to stair and landing soffits (Item No. 201 and 202)  | 28       | m2   | 40.00 | 1,120          |
| <b>Total</b>                              |   |          |      |       | <b>212,275</b> |
| <b>FITTINGS AND FIXTURES</b>              |   |          |      |       |                |
| 193                                       | Remove and reinstate kitchen joinery= 20 numbers (Provisional Sum)  |          | Sum  |       | 45,000         |
| 194                                       | Remove and reinstate fixed appliances (Provisional Sum)   |          | Sum  |       | 8,000          |
| 195                                       | Remove and reinstate office wall shelving (Provisional Sum)   |          | Sum  |       | 7,000          |
| 196                                       | Remove and reinstate office wall shelving with doors (Provisional Sum)  |          | Sum  |       | 10,000         |
| <b>Total</b>                              |   |          |      |       | <b>70,000</b>  |
| <b>SANITARY PLUMBING</b>                  |   |          |      |       |                |
| <u>Domestic / Flushing Water Services</u> |   |          |      |       |                |
| 197                                       | Pressure test all internal water supply pipework (Item No. 413 and Cosgroves report as Provisional Sum)   |          | Sum  |       | 10,000         |
| 198                                       | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional sum)   |          | Sum  |       | 5,000          |
| 199                                       | Drain down, flush and clean toilet pan and cistern (Item No. 413 and Cosgroves report)  | 15       | No   | 50.00 | 750            |
| 200                                       | Drain down, flush and clean wash hand basin (Item No. 413 and Cosgroves report)   | 9        | No   | 50.00 | 450            |
| 201                                       | Drain down, flush and clean sink insert (Item No. 413 and Cosgroves report)   | 17       | No   | 50.00 | 850            |
| 202                                       | Drain down, flush and clean cleaners sink (Item No. 413 and Cosgroves report)   | 3        | No   | 50.00 | 150            |
| 203                                       | LPG boiler system, pumps, air ventillation system, hot water cylinder and associated pipe work - refer to Allserve quotation dated 16 August 2017 = \$165,300 say \$170,000 (Item No. 417 and Cosgroves report) |          | Sum  |       | 170,000        |
| 204                                       | Test to hot water tempering valves and fixtures (Item No. 417 and Cosgroves report as Provisional Sum)  |          | Sum  |       | 3,000          |
| 205                                       | Additional RPZ and water connection to building (Item No. 417 and Cosgroves report as Provisional Sum)  |          | Sum  |       | 5,000          |
| <u>Storm Water Services</u>               |   |          |      |       |                |
| 206                                       | Clean gutters and downpipes, inspect and flush connections to kerb discharge (Item No. 413 and Cosgroves report as Provisional Sum)   |          | Sum  |       | 2,000          |
| 207                                       | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional Sum)   |          | Sum  |       | 1,000          |
| 208                                       | Seismic Restraints to suspended services, hot water cylinder and cold water storage tanks (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |       | 8,000          |
| <b>Total</b>                              |   |          |      |       | <b>206,200</b> |
| <b>HEATING AND VENTILATION SERVICES</b>   |   |          |      |       |                |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1A: 34% NBS Rev: 1



| No.                  | Description   | Quantity | Unit | Rate     | Total         |
|----------------------|---|----------|------|----------|---------------|
| 209                  | Check, test and repair existing split heat pump air conditioning unit / heating radiators (Item No. 413)  | 77       | No   | 500.00   | 38,500        |
| 210                  | Drain and flush radiators pipework including pipework condition report and pressure test (Item No. 413 as Provisional Sum)  |          | Sum  |          | 10,000        |
| 211                  | Replace damage pipework as required (Item No. 413 as Provisional Sum)   |          | Sum  |          | 5,000         |
| 212                  | Air compressor including 200 litres air receiver tank complete with integrated refrigerated air dryer refer to Atlas Copco quotation dated 14 August 2017 = \$10,828 say \$11,000 (Item No. 413)            |          | Sum  |          | 11,000        |
| 213                  | Check, test and clean existing ventillation system riser and ductwork (Item No. 413)  |          | Sum  |          | 20,000        |
| 214                  | Replace damage ventilation riser or ductwork as required (Item No. 413 as Provisional Sum)  |          | Sum  |          | 6,000         |
|                      | <b>Total</b>  |          |      |          | <b>90,500</b> |
| <b>FIRE SERVICES</b> |   |          |      |          |               |
| 215                  | Install fire glass panels to sides of main access stair and Basement stair to achieve compliance as part of Building Consent (Item No. 304)   | 39       | m2   | 1,600.00 | 62,400        |
| 216                  | Ramp access with stainless steel railing from external ground to floor level main entrance at North Section (Item No. 305 as Provisional Sum)   |          | Sum  |          | 15,000        |
| 217                  | Install accessible toilet on the ground floor level to achieve compliance for Building Consent. Likely to involve alterations to existing partition walls, plumbing, etc. (Item No. 305 as Provisional Sum) |          | Sum  |          | 30,000        |
| 218                  | Remove existing Type 2f manual alarm system with manual call points and bells (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |          | 25,000        |
| 219                  | Automatic fire sprinkler system incorporating a manual fire alarm system (Type 4) and an automatic smoke/heat detection system (Item No. 415 and Cosgrove report as Provisional Sum)                        | 2,281    | m2   | 75.00    | 171,075       |
| 220                  | Remove non illuminated exit signage (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |          | 500           |
| 221                  | Illuminated exit sign (Item No. 415 and Cosgrove report)  | 19       | No   | 350.00   | 6,650         |
| 222                  | New magnetic door open device (Item No. 415 and Cosgrove report)  | 7        | No   | 1,000.00 | 7,000         |
| 223                  | Remove existing door affected by new vision panel (Item No. 415 and Cosgrove report)  | 11       | No   | 300.00   | 3,300         |
| 224                  | New vision panel to existing door (Item No. 415 and Cosgrove report)  | 11       | No   | 2,000.00 | 22,000        |
| 225                  | Remove existing doors affected by FRR doors replacement then dispose off-site   | 14       | No   | 320.00   | 4,480         |
| 226                  | Single proprietary FRR doors -/60/30 complete (Item No. 415 and Cosgrove report)  | 10       | No   | 2,500.00 | 25,000        |
| 227                  | New single propriety FRR doors -/60/60 complete (Item No. 415 and Cosgrove report)  | 4        | No   | 2,500.00 | 10,000        |
| 228                  | Install frameless fire glass panels to lift lobby of Ground, First and Second Floor North Section to achieve compliance as part of Building Consent (Item No. 415 and Cosgrove report)                      | 27       | m2   | 2,500.00 | 67,500        |
| 229                  | Relocate Basement exit from the Ground Floor North Section (Item No. 415 and Cosgrove report)   | 1        | No   | 1,000.00 | 1,000         |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate      | Total          |
|-----|--|----------|------|-----------|----------------|
| 230 | Remove and replace existing external fire stairs from the South end of the building (Item No. 415 and Cosgrove report as Provisional Sum)  |          | Sum  |           | 60,000         |
| 231 | Fire separation to external stair walls, lift walls and office walls North and South Section (Item No. 415 and Cosgrove report as Provisional Sum)   | 382      | m2   | 330.00    | 126,060        |
| 232 | 13 Fyreline board between North and South Sections of the building (Item No. 415 and Cosgrove report as Provisional Sum)   | 233      | m2   | 150.00    | 34,950         |
| 233 | Fire separation to existing subfloor spaces to North and South Sections and all services penetration to be sealed (Item No. 415 and Cosgrove report as Provisional Sum)                      |          | Sum  |           | 10,000         |
|     | <b>Total</b>   |          |      |           | <b>681,915</b> |
|     | <b>ELECTRICAL SERVICES</b>   |          |      |           |                |
|     | <u>Mechanical for Electrical Services</u>  |          |      |           |                |
| 234 | New mechanical switchboard in Basement North Section (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |           | 5,000          |
| 235 | Review and replace associated wiring to new or existing plant items to North Section (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |           | 3,000          |
|     | <u>Electrical Work</u>   |          |      |           |                |
| 236 | Remove existing switchboards, cabling, wiring, luminaires, supply connection to Orion low voltage network, earthing and bonding system (Item No. 414 and Cosgrove report as Provisional Sum) |          | Sum  |           | 50,000         |
| 237 | Electric power and lighting including submains and switchboards (Item No. 414 and Cosgrove report as Provisional Sum)  | 2,281    | m2   | 150.00    | 342,150        |
| 238 | Emergency lighting (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |           | 10,000         |
|     | <b>Total</b>   |          |      |           | <b>410,150</b> |
|     | <b>VERTICAL AND HORIZONTAL TRANSPORTATION</b>  |          |      |           |                |
| 239 | Lift for three level building excluding shaft (Item No. 416)   | 1        | No   | 75,000.00 | 75,000         |
|     | <b>Total</b>   |          |      |           | <b>75,000</b>  |
|     | <b>SPECIAL SERVICES</b>  |          |      |           |                |
| 240 | Test and commission voice and data point (Item No. 414 and Cosgrove report)  | 77       | No   | 50.00     | 3,850          |
| 241 | Card access security (refer to Mainland Security System quotation dated 14 August 2017 = \$10,340 say \$11,000)  |          | Sum  |           | 11,000         |
| 242 | Check and commission intruder security (Item No. 414 and Cosgrove report)  |          | Sum  |           | 3,000          |
|     | <b>Total</b>   |          |      |           | <b>17,850</b>  |
|     | <b>SCAFFOLDING &amp; ACCESS</b>  |          |      |           |                |
| 243 | Temporary external brace 150x6 SHS due external brick work repair (Drawing No. SKR2, 3, 4 Item No. 412)  | 3        | No   | 1,100.00  | 3,300          |
| 244 | Temporary scaffoldings due external requirement for crack injection, window glazing replacement, plaster and paint (Item No. 130 and 412 as Provisional Sum)                                 |          | Sum  |           | 100,000        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1



| No. | Description   | Quantity | Unit | Rate | Total          |
|-----|---|----------|------|------|----------------|
| 245 | Temporary scaffoldings and propping to floors - internal requirement due to bell block walls removal (Drawing No. SKR2 Item No. 131 as Provisional Sum) |          | Sum  |      | 70,000         |
|     | <b>Total</b>  |          |      |      | <b>173,300</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1



| No. | Description                                   | Quantity | Unit | Rate  | Amount          | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|-------|-----------------|-----------------------|
| 1   | SITE WORKS                                    | 375      | m2   | 57.60 | 21,600          | 9.47                  |
| 2   | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00  | 1,080           | 0.47                  |
| 3   | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00 | 2,722           | 1.19                  |
| 4   | MARGIN  |          | %    | 8.00  | 2,032           | 0.89                  |
|     | <b>Total</b>                                  |          |      |       | <b>\$27,000</b> | <b>\$11.84</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1

| No.               | Description   | Quantity | Unit | Rate   | Total         |
|-------------------|---|----------|------|--------|---------------|
| <b>SITE WORKS</b> |   |          |      |        |               |
| 1                 | Remove and replace asphalt alley way including hardfill, excavation and backfill (Item No. 411 as Provisional Quantity = 36m2)        | 36       | m2   | 225.00 | 8,100         |
| 2                 | Remove, store and reinstate paving blocks including sand fill, hardfill and excavation (Item No. 411 as Provisional Quantity = 70 m2) | 70       | m2   | 150.00 | 10,500        |
| 3                 | Remove, store and reinstate metal security fence (Item No. 411 as Provisional Sum)  |          | Sum  |        | 3,000         |
|                   | <b>Total</b>  |          |      |        | <b>21,600</b> |



Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1



INFRASTRUCTURE SERVICES

| No. | Description                                   | Quantity | Unit | Rate  | Amount          | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|-------|-----------------|-----------------------|
| 1   | DRAINAGE                                      | 375      | m2   | 40.00 | 15,000          | 6.58                  |
| 2   | EXTERNAL LIGHT & POWER                        | 375      | m2   | 8.00  | 3,000           | 1.32                  |
| 3   | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00  | 900             | 0.39                  |
| 4   | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00 | 2,268           | 0.99                  |
| 5   | MARGIN  |          | %    | 8.00  | 1,693           | 0.74                  |
|     | <b>Total</b>                                  |          |      |       | <b>\$23,000</b> | <b>\$10.08</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1A: 34% NBS Rev: 1

| No.                               | Description  | Quantity | Unit | Rate | Total         |
|-----------------------------------|--|----------|------|------|---------------|
| <b>DRAINAGE</b>                   |  |          |      |      |               |
| <u>Sanitary Services</u>          |  |          |      |      |               |
| 1                                 | Water blastings to all existing drains to Cambridge Terrace and Worcester Street going to CCC main service lines (Item 417 and Cosgroves report as Provisional Sum)  |          | Sum  |      | 5,000         |
| 2                                 | Camera survey of sewer lateral of existing sanitary services in particular 3 sewer connections to Cambridge Terrace and 2 sewer connection to Worcester Street going to CCC sewer mains (Item 417 and Cosgroves report as Provisional Sum) |          | Sum  |      | 5,000         |
| 3                                 | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |      | 5,000         |
|                                   | <b>Total</b>   |          |      |      | <b>15,000</b> |
| <b>EXTERNAL LIGHT &amp; POWER</b> |  |          |      |      |               |
| 4                                 | Remove and reinstate site lighting affected by Basement demolition work (Item No. 101 b and 414)   |          | Sum  |      | 3,000         |
|                                   | <b>Total</b>   |          |      |      | <b>3,000</b>  |

# Appendix B

Option 1B: 67% NBS

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



PROJECT SUMMARY

| No. | Description                             | Quantity | Unit | Rate     | Total               |
|-----|---|----------|------|----------|---------------------|
| 1   | BUILDING WORKS                          | 2,281    | m2   | 6,022.69 | 13,738,000          |
| 2   | EXTERNAL WORKS                          | 375      | m2   | 73.16    | 27,000              |
| 3   | INFRASTRUCTURE SERVICES                 | 375      | m2   | 60.96    | <u>23,000</u>       |
|     |   |          |      |          | 13,788,000          |
| 4   | BUILDING CONSENT (Item No. 504)         |          | %    | 0.50     | <u>69,000</u>       |
|     |   |          |      |          | 13,857,000          |
| 5   | CONSTRUCTION CONTINGENCY (Item No. 502) |          | %    | 10.00    | <u>1,386,000</u>    |
|     |   |          |      |          | 15,243,000          |
| 6   | PROFESSIONAL FEES (Item No. 503)        |          | %    | 12.00    | <u>1,827,000</u>    |
|     |   |          |      |          | 17,070,000          |
|     | <b>Total</b>                            |          |      |          | <b>\$17,070,000</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No. | Description                                   | Quantity | Unit | Rate   | Amount              | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|--------|---------------------|-----------------------|
| 1   | SITE PREPARATION                              | 2,281    | m2   | 995.05 | 2,269,714           | 995.05                |
| 2   | SUBSTRUCTURE                                  | 2,281    | m2   | 717.89 | 1,637,500           | 717.89                |
| 3   | FRAME   | 2,281    | m2   | 610.47 | 1,392,472           | 610.47                |
| 4   | STRUCTURAL WALLS                              | 2,281    | m2   | 580.91 | 1,325,060           | 580.91                |
| 5   | UPPER FLOORS                                  | 2,281    | m2   | 107.09 | 244,273             | 107.09                |
| 6   | ROOF  | 2,281    | m2   | 9.43   | 21,500              | 9.43                  |
| 7   | EXTERIOR WALLS AND EXTERIOR FINISH            | 2,281    | m2   | 136.11 | 310,471             | 136.11                |
| 8   | WINDOWS AND EXTERIOR DOORS                    | 2,281    | m2   | 86.61  | 197,560             | 86.61                 |
| 9   | STAIRS AND BALUSTRADES                        | 2,281    | m2   | 39.54  | 90,180              | 39.54                 |
| 10  | INTERIOR WALLS                                | 2,281    | m2   | 290.78 | 663,266             | 290.78                |
| 11  | INTERIOR DOORS AND WINDOWS                    | 2,281    | m2   | 50.64  | 115,500             | 50.64                 |
| 12  | FLOOR FINISHES                                | 2,281    | m2   | 92.78  | 211,635             | 92.78                 |
| 13  | WALL FINISHES                                 | 2,281    | m2   | 191.40 | 436,585             | 191.40                |
| 14  | CEILING FINISHES                              | 2,281    | m2   | 93.06  | 212,275             | 93.06                 |
| 15  | FITTINGS AND FIXTURES                         | 2,281    | m2   | 30.69  | 70,000              | 30.69                 |
| 16  | SANITARY PLUMBING                             | 2,281    | m2   | 90.40  | 206,200             | 90.40                 |
| 17  | HEATING AND VENTILATION SERVICES              | 2,281    | m2   | 39.68  | 90,500              | 39.68                 |
| 18  | FIRE SERVICES                                 | 2,281    | m2   | 298.95 | 681,915             | 298.95                |
| 19  | ELECTRICAL SERVICES                           | 2,281    | m2   | 179.81 | 410,150             | 179.81                |
| 20  | VERTICAL AND HORIZONTAL TRANSPORTATION        | 2,281    | m2   | 32.88  | 75,000              | 32.88                 |
| 21  | SPECIAL SERVICES                              | 2,281    | m2   | 7.83   | 17,850              | 7.83                  |
| 22  | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00   | 534,480             | 234.32                |
| 23  | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00  | 1,345,630           | 589.93                |
| 24  | SCAFFOLDING & ACCESS                          | 2,281    | m2   | 75.98  | 173,300             | 75.98                 |
| 25  | MARGIN  |          | %    | 8.00   | 1,004,737           | 440.48                |
|     | <b>Total</b>                                  |          |      |        | <b>\$13,738,000</b> | <b>\$6,022.80</b>     |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No.                     | Description  | Quantity | Unit | Rate     | Total   |
|-------------------------|--|----------|------|----------|---------|
| <b>SITE PREPARATION</b> |  |          |      |          |         |
| <u>Site Preparation</u> |  |          |      |          |         |
| 1                       | Asbestos further testing and removal (Item No. 403 - Provisional Sum)  |          | Sum  |          | 100,000 |
| 2                       | Remove furniture, fixings and equipments (FF&E) and store offsite (Item No. 405 as Provisional Sum)  |          | Sum  |          | 20,000  |
| 3                       | Remove and store internal pair of hardwood timber frame door including glazing and lead lights affected by Ground Floor slab removal (Item 101 b)  | 1        | No   | 1,000.00 | 1,000   |
| 4                       | Remove marble flooring and dispose offsite due to Ground Floor North and South section steel screw pile installation (Item No. 102 and 103)  | 15       | m2   | 65.00    | 975     |
| 5                       | Remove and clean pigeon dropping to existing floors, walls, ceiling bulkheads and sanitation of North and South Section (Item No. 402 as Provisional Sum)  |          | Sum  |          | 30,000  |
| 6                       | Remove existing carpet due to GF concrete slab removal, steel screw piles installation, block work and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)   | 1,676    | m2   | 10.00    | 16,760  |
| 7                       | Allow engineers full assessment of floors, walls and cracks after lifting floor finishes and removal of wall linings to North and South Section. This includes detailed dilapidation survey and report (Item No. 211, 301, 302, 303 and 419 as Provisional Sum). This is part of Professional Fee. |          | NOTE |          |         |
| 8                       | Remove and store timber base boards due to GF concrete slab removal, steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108, 116 and 210)  | 1,459    | m    | 15.00    | 21,885  |
| 9                       | Remove vinyl and dispose offsite due to steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)  | 164      | m2   | 20.00    | 3,280   |
| 10                      | Remove entry matwell due to Ground Floor North and South Section steel screw pile installation (Item No. 102 and 103)  | 3        | m2   | 100.00   | 300     |
| 11                      | Remove and store T&G floor and joists to Ground Floor North Section (Item No. 102)   | 241      | m2   | 75.00    | 18,075  |
| 12                      | Remove and store T&G floor and joist to Ground Floor South Section (Item No. 103)  | 373      | m2   | 75.00    | 27,975  |
| 13                      | Remove and store external glazed steel casement windows including transom, frame, hardware and finish (Item No. 405)   | 277      | m2   | 300.00   | 83,100  |
| 14                      | Remove and store external glazed steel bay windows including transom, frame, hardware and finish (Item No. 405)  | 64       | m2   | 350.00   | 22,400  |
| 15                      | Remove and store external glazed steel casement windows including semi-circle top, transom, frame, hardware and finish (Item No. 405)  | 60       | m2   | 400.00   | 24,000  |
| 16                      | Remove and store external glass louvre windows to toilet (Item No. 405)  | 9        | No   | 150.00   | 1,350   |
| 17                      | Remove and store pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish (Item No. 405)   | 1        | No   | 750.00   | 750     |
| 18                      | Remove and store of exterior quality solid core door (1.8m x 2.1m) including transom, frame, hardware and finish (Item No. 405)  | 1        | No   | 600.00   | 600     |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1B: 67% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total  |
|-----|--|----------|------|----------|--------|
| 19  | Remove and store single exterior quality solid core door including transom, frame, hardware and finish (Item No. 405)  | 2        | No   | 150.00   | 300    |
| 20  | Remove and store pair of hardwood timber door frame doors including glazing, hardware and finish due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103, 209 and 405)              | 2        | No   | 1,000.00 | 2,000  |
| 21  | Remove and store lead lights due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103 and 405)   | 4        | No   | 300.00   | 1,200  |
| 22  | Remove and store single hardwood timber solid core paint grade door including frame, hardware and finish due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405) | 100      | No   | 200.00   | 20,000 |
| 23  | Remove and store single hardwood timber solid core paint grade slider door including frame, hardware and finish due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b and 103)               | 1        | No   | 200.00   | 200    |
| 24  | Remove and store door vision panels due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b, 102 and 103)  | 10       | No   | 200.00   | 2,000  |
| 25  | Remove and store door closer due to Ground Floor concrete slab removal, steel screw pile installation and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 12       | No   | 55.00    | 660    |
| 26  | Remove and store single proprietary FRR doors -/60/60 complete due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 4        | No   | 200.00   | 800    |
| 27  | Remove and store single glazed timber window including frame, hardware and finish due to Ground floor concrete slab removal and steel screw piles and misaligned doors (Item No. 101 b, 102, 103 and 405)                          | 10       | m2   | 250.00   | 2,500  |
| 28  | Remove and dispose offsite broken glazing to doors and windows (Item No. 206)  |          | Sum  |          | 5,000  |
| 29  | Bobcat mobilization and demobilization North Section (Item No. 101 b)  |          | Sum  |          | 1,000  |
| 30  | Loader mobilization and demobilization North Section (Item No. 101 b)  |          | Sum  |          | 2,000  |
| 31  | Pile rigger 12 Tonner mobilization and demobilization (Item No. 101 b)   |          | Sum  |          | 2,000  |
| 32  | Remove existing ceiling linings and dispose offsite (Item No. 201 and 202)   | 1,938    | m2   | 31.40    | 60,800 |
|     | <u>Demolition</u>  |          |      |          |        |
| 33  | Remove concrete encasement to existing steel columns and dispose offsite due to Ground Floor temporary transfer truss installation North Section (Item No. 101 b and c i as Provisional Sum)                                       |          | Sum  |          | 4,000  |
| 34  | Demolish existing 125 reinforced concrete walls and dispose offsite due to Ground Floor concrete slab removal North Section (Item No. 101 b and c j)   | 17       | m2   | 700.00   | 11,900 |
| 35  | Demolish existing bell block walls and dispose offsite due to Ground Floor concrete slab removal North Section (Item No. 101 b and c j)  | 92       | m2   | 80.00    | 7,360  |
| 36  | Demolish existing 150 reinforced concrete floor slab to Ground Floor North Section and dispose offsite (Item No. 101 b, c iii and 104)   | 101      | m2   | 800.00   | 80,800 |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1B: 67% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total   |
|-----|--|----------|------|----------|---------|
| 37  | Demolish existing 200 x 350 reinforced concrete beams to Basement North Section and dispose offsite (Item No. 101 b and c iii)   | 13       | m    | 750.00   | 9,758   |
| 38  | Demolish existing 200 x 200 reinforced concrete column to Basement North Section and dispose offsite (Item No. 101 b and c v)  | 6        | m    | 650.00   | 3,900   |
| 39  | Demolish existing stair walls and coal chute walls to Basement North Section and dispose offsite (Item No. 101 b and c v)  | 35       | m2   | 80.00    | 2,800   |
| 40  | Demolish existing 250 reinforced concrete walls to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 57       | m2   | 1,280.00 | 72,960  |
| 41  | Demolish existing 300 reinforced concrete walls to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 54       | m2   | 1,500.00 | 81,000  |
| 42  | Demolish existing 300 x 900 reinforced concrete columns to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 20       | m    | 950.00   | 19,000  |
| 43  | Demolish existing 250 reinforced concrete floor slab to Basement North section and dispose offsite (Item No. 101 b and c v)  | 101      | m2   | 1,100.00 | 111,100 |
| 44  | Demolish existing reinforced concrete stairs and landings to Basement North section and dispose offsite (Item No. 101 b and c v)   |          | Sum  |          | 8,000   |
| 45  | Demolish existing lift pit, walls and roof to North Section and dispose offsite (Item No. 125)   | 216      | m2   | 1,280.00 | 276,480 |
| 46  | Demolish existing reinforced concrete strip footing to Ground Floor North Section and dispose offsite (Item No. 101, 102, 103 and 105)   | 167      | m    | 1,200.00 | 199,836 |
| 47  | Demolish existing bell block walls affected by steel screw piling installation to North / South Section and due to bell block walls demolition Ground to Second Floor North Section then dispose offsite (Item No. 102, 103 and 105) | 1,086    | m2   | 80.00    | 86,880  |
| 48  | Demolish existing external double brick walls to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 61       | m2   | 120.00   | 7,320   |
| 49  | Demolish existing 300 x 900 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)  | 4        | m    | 1,400.00 | 5,600   |
| 50  | Demolish existing 600 x 1400 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)   | 4        | m    | 3,250.00 | 13,000  |
| 51  | Demolish brick infill along interior wall line between North and South Section (Drawing No. SKR2, 3, 4 Item No. 107)   | 43       | m2   | 80.00    | 3,440   |
|     | <u>Temporary transfer truss, beams, foundation and piles to Ground Floor North Section (Item No. 101 b and c i)</u>  |          |      |          |         |
| 52  | 380 PFC transfer truss columns, primed   | 1,690    | kg   | 8.00     | 13,520  |
| 53  | 380 PFC transfer truss beams, primed   | 3,083    | kg   | 8.00     | 24,664  |
| 54  | 380 PFC transfer truss diagonal beams, primed  | 1,705    | kg   | 8.00     | 13,640  |
| 55  | Secondary steelwork (not detailed)   | 648      | kg   | 8.00     | 5,184   |
| 56  | Miscellaneous plates and cleats  | 972      | kg   | 18.00    | 17,496  |
| 57  | Allow for complex installations and substantial fixings through existing columns (Provisional Sum)   |          | Sum  |          | 7,500   |
| 58  | Paint to steelwork - part of overall health and safety (OHS)   | 113      | m2   | 40.00    | 4,520   |
| 59  | Remove temporary transfer truss after completing all related work (Provisional Sum)  |          | Sum  |          | 10,000  |
|     | <u>Temporary lateral braces to main columns of Basement, Ground and First Floor North Section (Item No. 101 b and c iv)</u>  |          |      |          |         |
| 60  | 380 PFC lateral columns, primed  | 622      | kg   | 8.00     | 4,976   |



Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No.   | Description   | Quantity | Unit | Rate     | Total            |
|---|---|----------|------|----------|------------------|
| 61  | 380 PFC lateral beams, primed   | 3,257    | kg   | 8.00     | 26,056           |
| 62  | 380 PFC lateral hangers to truss, primed  | 431      | kg   | 8.00     | 3,448            |
| 63  | Secondary steelwork (not detailed)  | 431      | kg   | 8.00     | 3,448            |
| 64  | Miscellaneous plates and cleats   | 647      | kg   | 18.00    | 11,646           |
| 65  | Provide substantial fixings through existing columns, beams and post down to floor (Provisional Sum)                            |          | Sum  |          | 4,000            |
| 66  | Paint to steelwork - part of overall health and safety (OHS)  | 75       | m2   | 40.00    | 3,000            |
| 67  | Remove temporary lateral braces after completing all related work (Provisional Sum)   |          | Sum  |          | 9,000            |
| <u>Substructure Construction</u>  |   |          |      |          |                  |
| 68  | Bulk excavation and dispose off-site (Item No. 101 b and c vi)  | 665      | m3   | 120.00   | 79,800           |
| 69  | Imported backfill material (Item No. 101 b and c xvii)  | 665      | m3   | 65.00    | 43,225           |
| 70  | Bulk imported hardfill - lay 750mm compacted hardfill in 200mm maximum layers over base of excavation (Item No. 101 b and c ix) | 94       | m3   | 95.00    | 8,930            |
| 71  | 50 site concrete (Item No. 101 b and c x)   | 7        | m3   | 250.00   | 1,750            |
| 72  | Removal and dumping of stockpiled soils (Item No. 101 b)  | 96       | m3   | 85.00    | 8,160            |
| 73  | Underpin existing east side foundation in 1.2m section 'Hit and Miss' adjacent to basement (Item No. 101 b and c vii)           |          | Sum  |          | 80,000           |
| <u>Basement Construction</u>  |   |          |      |          |                  |
| 74  | Dewatering for basement excavation (Item No. 101 b and c ii as Provisional Sum)   |          | Sum  |          | 200,000          |
| 75  | Bulk basement excavation (Item No. 101 b and c vi)  | 761      | m3   | 75.00    | 57,075           |
| 76  | Allow difficulty of equipment and excavation access (Item 101 b and c vi as Provisional Sum)                                    |          | Sum  |          | 60,000           |
| <u>Temporary retaining shotcrete walls - see South Island Shotcrete quotation dated 16 September 2015 (Item No. 101 b and c viii). Allow 10% increase in unit rate (assumed).</u> |   |          |      |          |                  |
| 77  | Supply, pump and spray 40MPa shotcrete concrete with an "off the nozzle" finish (vertical area = 150m2, 100mm thick)            | 15       | m3   | 880.00   | 13,200           |
| 78  | Extra over waterproof additive  | 15       | m3   | 132.00   | 1,980            |
| 79  | Supply and install 1 layer of SE62 ductile mesh   | 150      | m2   | 27.50    | 3,500            |
| 80  | Subcontractor site establishment and disestablishment for soil nail rig   |          | Sum  |          | 2,500            |
| 81  | Soil nailing and tie backs 3.5m deep approximately 1 row at 1.5m spacing  | 34       | No   | 1,320.00 | 44,880           |
| 82  | Extra over shotcrete along sloped area (166m2, 100mm thick) and not vertical as per quote (Provisional Quantity)                | 2        | m3   | 880.00   | 1,760            |
| 83  | Extra over supply and install 1 layer of SE62 ductile mesh (166m2 - 150m2 = 16m2)   | 16       | m2   | 27.50    | 373              |
| 84  | Extra over soil nailing and tie backs to other side (Provisional Quantity)  | 17       | No   | 1,320.00 | 22,440           |
| <b>Total</b>  |   |          |      |          | <b>2,269,714</b> |
| <b>SUBSTRUCTURE</b>   |   |          |      |          |                  |
| <u>Substructure Construction</u>  |   |          |      |          |                  |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1B: 67% NBS Rev: 1



| No.   | Description  | Quantity | Unit | Rate     | Total   |
|---|--|----------|------|----------|---------|
| 85  | Reinstate T&G timber floor on 50 x 125 joists and 75 x 200 sleepers on bearers including R1.8 insulation, excavation and disposal to Ground Floor North Section (Item No. 102) | 241      | m2   | 190.00   | 45,790  |
| 86  | Reinstate T&G timber floor on 50 x 125 joists and 75 x 200 sleepers on bearers including R1.8 insulation, excavation and disposal to Ground Floor South Section (Item No. 103) | 373      | m2   | 190.00   | 70,870  |
| 87  | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor North Section (Item No. 102)            | 114      | m    | 920.00   | 104,760 |
| 88  | 500 x 500 reinforced concrete underpin beams including formwork, excavation and disposal over steel screw piles Ground Floor North Section (Item No. 102)                      | 76       | m    | 385.00   | 29,087  |
| 89  | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor South Section (Item No. 103)            | 176      | m    | 920.00   | 161,754 |
| 90  | 500 x 500 reinforced concrete underpin beams including formwork, excavation and disposal over steel screw piles Ground Floor South Section (Item No. 103)                      | 221      | m    | 385.00   | 85,216  |
| 91  | 300 reinforced concrete lift pit including sump, formwork, excavation and disposal (Item No. 125)  | 1        | No   | 7,700.00 | 7,700   |
| 92  | 600 x 600 reinforced concrete strip footing including formwork, excavation and disposal (Item No. 101, 102, 103 & 105)   | 167      | m    | 425.00   | 70,775  |
| <u>Basement Construction</u>                              |  |          |      |          |         |
| 93  | 400 reinforced concrete basement floor slab including tanking and water stops to Basement North Section (Item No. 101 b and c xi xiv)  | 101      | m2   | 1,200.00 | 121,200 |
| 94  | 250 reinforced concrete basement wall including tanking and water stops (Item No. 101 b and c xi xiii xiv)   | 57       | m2   | 800.00   | 45,600  |
| 95  | 300 reinforced concrete basement wall including tanking and water stops (Item No. 101 b and c xi xiii xiv)   | 54       | m2   | 1,000.00 | 54,000  |
| <u>Piling</u>   |  |          |      |          |         |
| 96  | 168 dia steel screw piles to an average of 3m deep (88 No.) to Ground Floor North Section - see Piletech email high level quotation dated 21 September 2015 (Item No. 102)     | 88       | No   | 2,273.00 | 200,000 |
| 97  | Supply and install structural steel angle fixed to new foundation beam and pile caps - Ground Floor North Section (Item No. 102)   | 88       | No   | 1,500.00 | 132,000 |
| 98  | Jack, pack and grout screw piles (40 No.) to Ground Floor North Section (Item No. 102 as Provisional Sum)  |          | Sum  |          | 100,000 |
| 99  | 168 dia steel screw piles to an average of 3m deep (89 No.) to Ground Floor South Section (Item No. 103)   | 89       | No   | 2,273.00 | 202,300 |
| 100   | Supply and install structural steel angle fixed to new foundation beam and pile caps - Ground Floor South Section (Item No. 102)   | 89       | No   | 1,500.00 | 133,500 |
| 101   | Jack, pack and grout screw piles (8 No.) to Ground Floor South Section (Item No. 103 as Provisional Sum)   |          | Sum  |          | 50,000  |
| <u>Option 1B - 67% NBS Strengthening Work, Item No. g</u> |  |          |      |          |         |
| 102   | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor South Section                           | 15       | m    | 920.00   | 13,855  |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total            |
|-----|--|----------|------|----------|------------------|
| 103 | 168 dia steel screw piles to an average of 3m deep to Ground Floor South Section   | 4        | No   | 2,273.00 | 9,092            |
|     | <b>Total</b>   |          |      |          | <b>1,637,500</b> |
|     | <b>FRAME</b>   |          |      |          |                  |
|     | <u>Structural Steel</u>  |          |      |          |                  |
| 104 | 150x6 SHS columns, primed to Basement North Section (Item No. 101 b and c xiv)   | 208      | kg   | 8.00     | 1,664            |
| 105 | Secondary steelwork to Basement North Section (not detailed - Item No. 101 b and c xiv)  | 21       | kg   | 8.00     | 168              |
| 106 | Miscellaneous plates and cleats to Basement North Section (Item No. 101 b and c xiv)   | 32       | kg   | 18.00    | 576              |
| 107 | Intumescent paint to steelwork Basement North Section (Item No. 101 b and c xiv)   | 2        | m2   | 150.00   | 300              |
|     | <u>Insitu Concrete</u>   |          |      |          |                  |
| 108 | 300 x 600 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)   | 11       | m    | 480.00   | 5,280            |
| 109 | 800 x 800 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)   | 3        | m    | 1,200.00 | 3,600            |
| 110 | 900 x 1400 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)  | 3        | m    | 2,150.00 | 6,450            |
| 111 | 200 x 350 reinforced concrete beams to Basement North Section (Item No. 101 b and c xviii)   | 13       | m    | 250.00   | 3,250            |
| 112 | 450 x 600 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)                                    | 4        | m    | 700.00   | 2,800            |
| 113 | 600 x 1400 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)                                   | 4        | m    | 1,780.00 | 7,120            |
| 114 | Concrete crack epoxy injection to exterior plastered columns North Section (Item No. 112)  | 25       | m    | 250.00   | 6,250            |
| 115 | Concrete crack epoxy injection to exterior plastered beams North Section (Item No. 113)  | 25       | m    | 250.00   | 6,250            |
| 116 | Concrete crack epoxy injection to exterior plastered columns South Section (Item No. 114)  | 25       | m    | 250.00   | 6,250            |
| 117 | Concrete crack epoxy injection to exterior plastered beams South Section (Item No. 115)  | 25       | m    | 250.00   | 6,250            |
|     | <u>Roof</u>  |          |      |          |                  |
| 118 | 225 x 225 reinforced concrete bond beam to parapet North Section (Drawing No. SKR4 Item No. 118)                                       | 42       | m    | 330.00   | 13,860           |
| 119 | Drill and epoxy H12 starter reinforcing bar into all adjacent piers and beams to parapet North Section (Drawing No. SKR4 Item No. 118) | 226      | No   | 50.00    | 11,300           |
| 120 | 225 x 225 reinforced concrete bond beam to parapet South Section (Item No. 119)  | 9        | m    | 330.00   | 2,970            |
| 121 | Drill and epoxy H12 starter reinforcing bar into all adjacent piers and beams to parapet North Section (Item No. 119)                  | 42       | No   | 50.00    | 2,100            |
|     | <u>Supply and installation of Sika Cabodur plates (Option 1B Item No. f)</u>   |          |      |          |                  |
| 122 | 100mm x 1.2mm (2 sides) spaced at 300mm centres to North Section columns (Provisional Quantity)  | 2,700    | m    | 132.00   | 356,400          |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No.                     | Description   | Quantity | Unit | Rate     | Total            |
|-------------------------|---|----------|------|----------|------------------|
| 123                     | 50mm x 1.2mm (all 4 sides) spaced at 150mm centres to North Section columns (Provisional Quantity)  | 3,276    | m    | 150.00   | 491,400          |
| 124                     | 100mm x 1.2mm (2 sides) spaced at 300mm centres to South Section columns (Provisional Quantity)   | 1,890    | m    | 132.00   | 249,480          |
| 125                     | 50mm x 1.2mm (all 4 sides) spaced at 150mm centres to South Section columns (Provisional Quantity)  | 2,294    | m    | 91.00    | 208,754          |
| <b>Total</b>            |   |          |      |          | <b>1,392,472</b> |
| <b>STRUCTURAL WALLS</b> |   |          |      |          |                  |
| 126                     | 270 reinforced concrete insitu wall including formwork and reinforcement to lift well Basement to roof North Section (Item No. 125, 126 and 127)  | 170      | m2   | 685.00   | 116,450          |
| 127                     | Add new 150 reinforced shotcrete skin walls to South Section (Option 1B Item No. c.)  | 417      | m2   | 1,350.00 | 562,950          |
| 128                     | Drill and epoxy D10 hooked ties into the existing wall (100mm embedment) at 600 centres each way to South Section (Option 1B Item No. c. b.)  | 320      | No   | 35.00    | 11,200           |
| 129                     | Drill and epoxy H12 vertical / starter bars to pass through existing floors at 200 each way to South Section (Option 1B Item No. c. c.)   | 636      | No   | 50.00    | 31,800           |
| 130                     | H12 reinforcement to shotcrete skin walls at 200 each way to South Section (Option 1B Item No. c. a.)   | 6,839    | kg   | 3.50     | 23,937           |
| 131                     | Drill and epoxy H12 vertical bars into underside of the roof slab / floor at 200 each way to South Section (Option 1B Item No. c. d.)   | 212      | No   | 50.00    | 10,600           |
| 132                     | Add new 250 reinforced insitu concrete shear walls to South Section (Option 1B Item No. d.)   | 264      | m2   | 430.40   | 113,626          |
| 133                     | Drill and epoxy D10 hooked ties into the existing columns where the new wall is parallel to the adjacent to existing wall (100mm embedment) at 600 centres each way to South Section (Option 1B Item No. d. b.) | 280      | No   | 35.00    | 9,800            |
| 134                     | Drill and epoxy H16 vertical / starter bars to pass through existing floors at 200 each way to South Section (Option 1B Item No. d. c.)   | 3,720    | No   | 60.00    | 223,200          |
| 135                     | H16 reinforcement to concrete shear walls at 200 each way, each face to South Section (Option 1B Item No. d. a.)  | 19,546   | kg   | 3.50     | 68,411           |
| 136                     | HR10 concrete shear wall stirrups (600 long) spaced at 100 centres, at each end wall, over the bottom sotrey height to South Section (Option 1B Item No. d. a.)   | 2,260    | kg   | 3.50     | 7,910            |
| 137                     | 2HR10 concrete shear wall links spaced at 100 centres, at each end wall, over the bottom sotrey height to South Section (Option 1B Item No. d. a.)  | 31,482   | kg   | 3.50     | 110,187          |
| 138                     | Drill and epoxy H12 vertical bars into underside of the roof slab / floor at 200 each way to South Section (Option 1B Item No. d. d.)   | 135      | No   | 50.00    | 6,750            |
| 139                     | Drill and epoxy H16 horizontal starter bars into the existing columns at the ends of new shear walls at 200 centres, 1000 long with 250mm embedment to South Section (Option 1B Item No. d. e.)                 | 280      | No   | 60.00    | 16,800           |
| 140                     | Cut back existing wall 400 each side and reform with new 20 gap to South Section (Option 1B Item No. e)   | 44       | m    | 260.00   | 11,440           |
| <b>Total</b>            |   |          |      |          | <b>1,325,060</b> |
| <b>UPPER FLOORS</b>     |   |          |      |          |                  |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1B: 67% NBS Rev: 1

| No.                                       | Description   | Quantity | Unit | Rate   | Total          |
|---|---|----------|------|--------|----------------|
| 141                                       | 150 reinforced concrete topping on interspan suspended floor system to Ground Floor North Section (Item No. 101 b, c xviii and 104)   | 101      | m2   | 250.00 | 25,203         |
| 142                                       | 150 reinforced concrete topping on interspan suspended floor system due to reconstruct lift shaft and walls from Basement to Roof North Section (Item No. 101 b)  | 1        | m2   | 250.00 | 250            |
| 143                                       | Drill and epoxy H12 reinforcing starter bars (L=200) spaced at 400 into existing floors (Item No. 101 b)  | 124      | No   | 30.00  | 3,720          |
| 144                                       | 150 x 350 deep rib beams in 600 long sections within existing First to Second Floor North Section to accommodate starters for block walls that do not align with existing floor ribs (Drawing No. SKR20 Item No. 105)   | 50       | m    | 250.00 | 12,500         |
| 145                                       | Concrete crack epoxy injection to concrete floors (First Floor = 180m, Second Floor = 340m) North and South Section (Drawing No. SKR15, 16 Item No. 116)<br><u>Supply and installation of Sika Cabodur plates (Option 1B Item No. f)</u>  | 520      | m    | 250.00 | 130,000        |
| 146                                       | 100mm x 1.2mm to First, Second Floor and Roof Levels - South Sections floor diaphragm (Provisional Quantity)  | 600      | m    | 121.00 | 72,600         |
| <b>Total</b>                              |   |          |      |        | <b>244,273</b> |
| <b>ROOF</b>                               |   |          |      |        |                |
| 147                                       | Remove and reinstate existing sections of light weight roof and membrane (Drawing SKR4 Item No. 212 as Provisional Quantity)  | 100      | m2   | 180.00 | 18,000         |
| 148                                       | 150 reinforced suspended floor system with waterproofing membrane to roof slab lift shat North Section (Item No. 128)   | 10       | m2   | 350.00 | 3,500          |
| <b>Total</b>                              |   |          |      |        | <b>21,500</b>  |
| <b>EXTERIOR WALLS AND EXTERIOR FINISH</b> |   |          |      |        |                |
| 149                                       | 240 reinforced blockwork walls with plaster finish to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 61       | m2   | 360.00 | 21,960         |
| 150                                       | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 314      | No   | 50.00  | 15,700         |
| 151                                       | HR10 reinforcing bar spaced at 200 links over windows to First - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 71       | No   | 25.00  | 1,775          |
| 152                                       | Remove 25mm thick internal plaster for installation of Helifix ties and replaster to North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 215      | m2   | 90.00  | 19,350         |
| 153                                       | Supply and installation of Helifix ties at 400 centres each way and at 200 centres to perimeter of windows to North Section - Fulton Hogan supply and installation of Helifix quotation (without plaster and paint) for Helifix dated 17 September 2015 for 2000 numbers (Drawing No. SKR2, 3, 4 Item No. 109). Add 10% for unit rate increase. | 215      | m2   | 240.00 | 51,600         |
| 154                                       | Paint to external walls due to Helifix installation to North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 215      | m2   | 40.00  | 8,600          |
| 155                                       | 240 reinforced blockwork walls (L=5m) with plaster to South Section (Item No. 110)  | 16       | m2   | 360.00 | 5,760          |
| 156                                       | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors to South Section (Item No. 110)   | 254      | No   | 50.00  | 12,700         |
| 157                                       | Remove existing brick parapet and replace 240 reinforced blockwork walls with plaster finish to Roof parapet wall North Section (Drawing No. SKR4 Item No. 117 and 213)   | 7        | m2   | 425.00 | 2,975          |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1B: 67% NBS Rev: 1

| No.                               | Description   | Quantity | Unit | Rate      | Total          |
|-----------------------------------|---|----------|------|-----------|----------------|
| 158                               | Drill and epoxy H12 starter reinforcing bar (L=1000) spaced at 200 into piers and 300 into beams to Roof parapet wall North Section (Drawing No. SKR4 Item No. 117 and 213) | 59       | No   | 50.00     | 2,950          |
| 159                               | Concrete crack epoxy injection to parapet walls North Section Cambridge Tce frontage (Item No. 120)   | 20       | m    | 250.00    | 5,000          |
| 160                               | Concrete crack epoxy injection to parapet walls South Section Cambridge Tce and Worcester frontages (Item No. 121)  | 20       | m    | 250.00    | 5,000          |
| 161                               | Concrete crack epoxy injection to exterior walls North and South Section (Item No. 205)   | 520      | m    | 250.00    | 130,000        |
| 162                               | Paint to external walls due to wall repair to South Section (Item No. 117, 120, 205 and 213)  | 600      | m2   | 40.00     | 24,000         |
| 163                               | Allow new joint flashing to exterior walls North Section and new building adjacent to the boundary (Item No. 208)   | 26       | m    | 120.00    | 3,101          |
| <b>Total</b>                      |   |          |      |           | <b>310,471</b> |
| <b>WINDOWS AND EXTERIOR DOORS</b> |   |          |      |           |                |
| 164                               | Reinstall and make good external glazed steel casement windows including transom, frame, hardware and finish (Item No. 405)   | 277      | m2   | 450.00    | 124,650        |
| 165                               | Reinstall and make good external glazed steel bay windows including transom, frame, hardware and finish (Item No. 405)  | 64       | m2   | 500.00    | 32,000         |
| 166                               | Reinstall and make good external glazed steel casement windows including semi-circle top, transom, frame, hardware and finish (Item No. 405)                                | 60       | m2   | 600.00    | 36,000         |
| 167                               | Reinstall and make good external glass louvre windows to toilet (Item No. 405)  | 9        | No   | 200.00    | 1,800          |
| 168                               | Rehang, install and make good pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish (Item No. 209 and 405)                   | 1        | No   | 1,500.00  | 1,500          |
| 169                               | Rehang, install and make good pair of exterior quality solid core door (1.8m x 2.1m) including transom, frame, hardware and finish (Item No. 209 and 405)                   | 1        | No   | 1,000.00  | 1,000          |
| 170                               | Rehang, install and make good single exterior quality solid core door including transom, frame, hardware and finish (Item No. 209 and 405)                                  | 2        | No   | 250.00    | 500            |
| 171                               | Remove all door barrel bolts for egress and make good (Item No. 405 and Cosgrove report)  | 2        | No   | 55.00     | 110            |
| <b>Total</b>                      |   |          |      |           | <b>197,560</b> |
| <b>STAIRS AND BALUSTRADES</b>     |   |          |      |           |                |
| 172                               | Reinforced concrete in-situ stair including landing to Basement (Item No. 101 b and c xvi)  | 1        | No   | 25,000.00 | 25,000         |
| 173                               | Allowance for steel plate connectors to underside of flights at landings and slabs - 800x200x16 MS bent flats - 2 per section to main stairs North Section (Item No. 130)   | 12       | No   | 1,400.00  | 16,800         |
| 174                               | Rake out and epoxy connections to existing floors at each level to main stairs North Section (Item No. 130)   | 12       | sets | 990.00    | 11,880         |
| 175                               | Reinstatement of marble finishes with alternative product (PC Sum for Supply \$400m2) to main stairs North Section (Item No. 130)   | 20       | m2   | 800.00    | 16,000         |
| 176                               | Provisional allowance for SHS supports posts at connections to upper floors - main stairs North Section (Item No. 130)  |          | Sum  |           | 20,500         |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No.                               | Description  | Quantity | Unit | Rate     | Total          |
|-----------------------------------|--|----------|------|----------|----------------|
| <b>Total</b>                      |  |          |      |          | <b>90,180</b>  |
| <b>INTERIOR WALLS</b>             |  |          |      |          |                |
| 177                               | 190 reinforced blockwork walls with plaster finish to stair and coal chute walls Basement North Section (Item No. 101 b and c xvi)   | 35       | m2   | 310.00   | 10,850         |
| 178                               | 125 reinforced concrete insitu wall including formwork to Ground Floor North Section affected by slab removal (Item No. 101 b, c viii and 108)   | 17       | m2   | 490.00   | 8,330          |
| 179                               | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent beams affected by Ground Floor slab removal North Section (Item No. 101 b and c viii)  | 26       | No   | 50.00    | 1,300          |
| 180                               | 140 reinforced blockwork walls including plaster finish both sides to Ground Floor North Section affected by slab removal (Item No. 101 b and c viii)  | 92       | m2   | 270.00   | 24,840         |
| 181                               | 140 reinforced blockwork walls including plaster finish both sides affected by Ground Floor steel screw piling installation North Section and due to bell block walls demolition Ground to Second Floor North Section (Item No. 102, 103 and 105)  | 1,086    | m2   | 270.00   | 293,220        |
| 182                               | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors affected by Ground Floor steel screw piling installation North / South Section and due to bell block walls demolition Ground to Second Floor North Section (Item No. 102, 103 and 105) | 4,835    | No   | 50.00    | 241,750        |
| 183                               | Concrete crack epoxy injection to partition walls South Section (Drawing No. SKR2, 3, 4 Item No. 106)  | 100      | m    | 250.00   | 25,000         |
| 184                               | 240 reinforced blockwork walls with plaster finish along interior wall line between North and South Section (Drawing No. SKR2, 3, 4 Item No. 107)  | 43       | m2   | 360.00   | 15,480         |
| 185                               | 300 x 300 x 10 plates bolted with M16 chemsets to concrete as connectors to junction of North and South Section (Item No. 122, 123 and 124)  | 40       | No   | 360.00   | 14,336         |
| 186                               | Allow to epoxy inject gap between concrete frames - both sides to junction of North and South Section (Item No. 122,123 and 124)   | 44       | m    | 460.00   | 20,240         |
| 187                               | Allow to plaster repairs both sides of junction between North and South Section (Item No. 122,123 and 124)   | 44       | m    | 180.00   | 7,920          |
| <b>Total</b>                      |  |          |      |          | <b>663,266</b> |
| <b>INTERIOR DOORS AND WINDOWS</b> |  |          |      |          |                |
| 188                               | Rehang and make good pair of hardwood timber door frame doors including glazing, hardware and finish due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103, 209 and 405)  | 2        | No   | 1,500.00 | 3,000          |
| 189                               | Repair and make good lead lights due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103)   | 4        | No   | 500.00   | 2,000          |
| 190                               | Rehang and make good single hardwood timber solid core paint grade door including frame, hardware and finish due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 100      | No   | 300.00   | 30,000         |
| 191                               | Rehang and make good single hardwood timber solid core paint grade slider door including frame, hardware and finish due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b and 103)   | 1        | No   | 300.00   | 300            |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1B: 67% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate   | Total          |
|-----|--|----------|------|--------|----------------|
| 192 | Repair and make good to vision panel due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b, 102 and 103)   | 10       | No   | 250.00 | 2,500          |
| 193 | Reinstall door closer due to Ground Floor concrete slab removal, steel screw pile installation and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)  | 12       | No   | 150.00 | 1,800          |
| 194 | Rehang and make good single proprietary FRR doors -/60/30 complete due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 4        | No   | 500.00 | 2,000          |
| 195 | Repair, reinstall and make good single glazed timber window including frame, hardware and finish due to Ground floor concrete slab removal and steel screw piles and misaligned doors (Item No. 101 b, 102 and 103)                          | 10       | m2   | 350.00 | 3,500          |
| 196 | Replace broken glazing to doors and windows - see Adler Glass quotation dated 22 September 2015 = \$49,503.53 say \$50,000 excluding GST (Item No. 206 and 207)  |          | Sum  |        | 50,000         |
| 197 | Remove all door barrel bolts for egress and make good (Item No. 405 and Cosgrove report)   | 102      | No   | 200.00 | 20,400         |
|     | <b>Total</b>   |          |      |        | <b>115,500</b> |
|     | <b>FLOOR FINISHES</b>  |          |      |        |                |
| 198 | Marble flooring laid on mortar bed due to Ground Floor North and South section steel screw pile installation (Item No. 102 and 103)  | 15       | m2   | 520.00 | 7,800          |
| 199 | New carpet due to GF concrete slab removal, steel screw piles installation, block work and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)   | 1,676    | m2   | 70.00  | 117,320        |
| 200 | Reinstate and make good timber base boards due to GF concrete slab removal, steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108, 116 and 210)     | 1,459    | m    | 25.00  | 36,475         |
| 201 | Sheet vinyl with welded joints and coved edge including Hydropoxy to concrete due to steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116) | 164      | m2   | 90.00  | 14,760         |
| 202 | New entry matwell due to Ground Floor North and South Section steel screw pile installation (Item No. 102 and 103)   | 3        | m2   | 500.00 | 1,500          |
| 203 | Cement screed on existing floors to South Sections due to Sika Cabodur floor diaphragm strengthening work (Option 1B Item No. h)   | 1,126    | m2   | 30.00  | 33,780         |
|     | <b>Total</b>   |          |      |        | <b>211,635</b> |
|     | <b>WALL FINISHES</b>   |          |      |        |                |
| 204 | Remove and replace 13 Gibboard both sides including skirting to North and South Section (Item No. 203 and 204)   | 966      | m2   | 205.00 | 198,030        |
| 205 | Remove and replace 13 Aqualine including skirting to North and South Section (Item No. 203 and 204)  | 44       | m2   | 130.00 | 5,720          |
| 206 | Paint to existing walls including making good to North and South Section (Item No. 203 and 204)  | 3,024    | m2   | 35.00  | 105,840        |
| 207 | Marble walls to entry foyer  | 18       | m2   | 550.00 | 9,900          |
| 208 | Ceramic tiles to toilets   | 195      | m2   | 240.00 | 46,800         |
| 209 | Plaster and paint on existing columns to North and South Sections due to Sika Carbodur strengthening work (Option 1B Item No. f)   | 827      | m2   | 85.00  | 70,295         |



Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No.                                       | Description  | Quantity | Unit | Rate   | Total          |
|---|--|----------|------|--------|----------------|
| <b>Total</b>                              |  |          |      |        | <b>436,585</b> |
| <b>CEILING FINISHES</b>                   |  |          |      |        |                |
| 210                                       | Paint on 13 Gibboard on 50 ceiling battens (Item No. 201 and 202)  | 1,729    | m2   | 95.00  | 164,255        |
| 211                                       | Paint on 13 Aqualine on 50 ceiling battens (Item No. 201 and 202)  | 77       | m2   | 105.00 | 8,085          |
| 212                                       | Acoustic ceiling on 50 timber battens (Item No. 201 and 202)   | 43       | m2   | 150.00 | 6,450          |
| 213                                       | Mineral fibre ceiling tiles in metal suspension grid (Item No. 201 and 202)  | 89       | m2   | 65.00  | 5,785          |
| 214                                       | Ceiling cornice (Item No. 201 and 202)   | 886      | m    | 30.00  | 26,580         |
| 215                                       | Paint to existing ceilings including making good to stair and landing soffits (Item No. 201 and 202)   | 28       | m2   | 40.00  | 1,120          |
| <b>Total</b>                              |  |          |      |        | <b>212,275</b> |
| <b>FITTINGS AND FIXTURES</b>              |  |          |      |        |                |
| 216                                       | Remove and reinstate kitchen joinery= 20 numbers (Provisional Sum)   |          | Sum  |        | 45,000         |
| 217                                       | Remove and reinstate fixed appliances (Provisional Sum)  |          | Sum  |        | 8,000          |
| 218                                       | Remove and reinstate office wall shelving (Provisional Sum)  |          | Sum  |        | 7,000          |
| 219                                       | Remove and reinstate office wall shelving with doors (Provisional Sum)   |          | Sum  |        | 10,000         |
| <b>Total</b>                              |  |          |      |        | <b>70,000</b>  |
| <b>SANITARY PLUMBING</b>                  |  |          |      |        |                |
| <u>Domestic / Flushing Water Services</u> |  |          |      |        |                |
| 220                                       | Pressure test all internal water supply pipework (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |        | 10,000         |
| 221                                       | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional sum)  |          | Sum  |        | 5,000          |
| 222                                       | Drain down, flush and clean toilet pan and cistern (Item No. 413 and Cosgroves report)   | 15       | No   | 50.00  | 750            |
| 223                                       | Drain down, flush and clean wash hand basin (Item No. 413 and Cosgroves report)  | 9        | No   | 50.00  | 450            |
| 224                                       | Drain down, flush and clean sink insert (Item No. 413 and Cosgroves report)  | 17       | No   | 50.00  | 850            |
| 225                                       | Drain down, flush and clean cleaners sink (Item No. 413 and Cosgroves report)  | 3        | No   | 50.00  | 150            |
| 226                                       | LPG boiler system, pumps, air ventilation system, hot water cylinder and associated pipe work - refer to Allserve quotation dated 16 August 2017 = \$165,300 say \$170,000 (Item No. 417 and Cosgroves report) |          | Sum  |        | 170,000        |
| 227                                       | Test to hot water tempering valves and fixtures (Item No. 417 and Cosgroves report as Provisional Sum)   |          | Sum  |        | 3,000          |
| 228                                       | Additional RPZ and water connection to building (Item No. 417 and Cosgroves report as Provisional Sum)   |          | Sum  |        | 5,000          |
| <u>Storm Water Services</u>               |  |          |      |        |                |
| 229                                       | Clean gutters and downpipes, inspect and flush connections to kerb discharge (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |        | 2,000          |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No.                                     | Description   | Quantity | Unit | Rate     | Total          |
|---|---|----------|------|----------|----------------|
| 230                                     | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional Sum)   |          | Sum  |          | 1,000          |
| 231                                     | Seismic Restraints to suspended services, hot water cylinder and cold water storage tanks (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |          | 8,000          |
|   | <b>Total</b>  |          |      |          | <b>206,200</b> |
| <b>HEATING AND VENTILATION SERVICES</b> |   |          |      |          |                |
| 232                                     | Check, test and repair existing split heat pump air conditioning unit / heating radiators (Item No. 413)  | 77       | No   | 500.00   | 38,500         |
| 233                                     | Drain and flush radiators pipework including pipework condition report and pressure test (Item No. 413 as Provisional Sum)  |          | Sum  |          | 10,000         |
| 234                                     | Replace damage pipework as required (Item No. 413 as Provisional Sum)   |          | Sum  |          | 5,000          |
| 235                                     | Air compressor including 200 litres air receiver tank complete with integrated refrigerated air dryer refer to Atlas Copco quotation dated 14 August 2017 = \$10,828 say \$11,000 (Item No. 413)            |          | Sum  |          | 11,000         |
| 236                                     | Check, test and clean existing ventilation system riser and ductwork (Item No. 413)   |          | Sum  |          | 20,000         |
| 237                                     | Replace damage ventilation riser or ductwork as required (Item No. 413 as Provisional Sum)  |          | Sum  |          | 6,000          |
|   | <b>Total</b>  |          |      |          | <b>90,500</b>  |
| <b>FIRE SERVICES</b>                    |   |          |      |          |                |
| 238                                     | Install fire glass panels to sides of main access stair and Basement stair to achieve compliance as part of Building Consent (Item No. 304)   | 39       | m2   | 1,600.00 | 62,400         |
| 239                                     | Ramp access with stainless steel railing from external ground to floor level main entrance at North Section (Item No. 305 as Provisional Sum)   |          | Sum  |          | 15,000         |
| 240                                     | Install accessible toilet on the ground floor level to achieve compliance for Building Consent. Likely to involve alterations to existing partition walls, plumbing, etc. (Item No. 305 as Provisional Sum) |          | Sum  |          | 30,000         |
| 241                                     | Remove existing Type 2f manual alarm system with manual call points and bells (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |          | 25,000         |
| 242                                     | Automatic fire sprinkler system incorporating a manual fire alarm system (Type 4) and an automatic smoke/heat detection system (Item No. 415 and Cosgrove report as Provisional Sum)                        | 2,281    | m2   | 75.00    | 171,075        |
| 243                                     | Remove non illuminated exit signage (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |          | 500            |
| 244                                     | Illuminated exit sign (Item No. 415 and Cosgrove report)  | 19       | No   | 350.00   | 6,650          |
| 245                                     | New magnetic door open device (Item No. 415 and Cosgrove report)  | 7        | No   | 1,000.00 | 7,000          |
| 246                                     | Remove existing door affected by new vision panel (Item No. 415 and Cosgrove report)  | 11       | No   | 300.00   | 3,300          |
| 247                                     | New vision panel to existing door (Item No. 415 and Cosgrove report)  | 11       | No   | 2,000.00 | 22,000         |
| 248                                     | Remove existing doors affected by FRR doors replacement then dispose off-site   | 14       | No   | 320.00   | 4,480          |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No.   | Description  | Quantity | Unit | Rate      | Total          |
|---|--|----------|------|-----------|----------------|
| 249   | Single proprietary FRR doors -/60/30 complete (Item No. 415 and Cosgrove report)   | 10       | No   | 2,500.00  | 25,000         |
| 250   | New single propriety FRR doors -/60/60 complete (Item No. 415 and Cosgrove report)   | 4        | No   | 2,500.00  | 10,000         |
| 251   | Install frameless fire glass panels to lift lobby of Ground, First and Second Floor North Section to achieve compliance as part of Building Consent (Item No. 415 and Cosgrove report)       | 27       | m2   | 2,500.00  | 67,500         |
| 252   | Relocate Basement exit from the Ground Floor North Section (Item No. 415 and Cosgrove report)  | 1        | No   | 1,000.00  | 1,000          |
| 253   | Remove and replace existing external fire stairs from the South end of the building (Item No. 415 and Cosgrove report as Provisional Sum)  |          | Sum  |           | 60,000         |
| 254   | Fire separation to external stair walls, lift walls and office walls North and South Section (Item No. 415 and Cosgrove report as Provisional Sum)   | 382      | m2   | 330.00    | 126,060        |
| 255   | 13 Fyreline board between North and South Sections of the building (Item No. 415 and Cosgrove report as Provisional Sum)   | 233      | m2   | 150.00    | 34,950         |
| 256   | Fire separation to existing subfloor spaces to North and South Sections and all services penetration to be sealed (Item No. 415 and Cosgrove report as Provisional Sum)                      |          | Sum  |           | 10,000         |
|   | <b>Total</b>   |          |      |           | <b>681,915</b> |
| <b>ELECTRICAL SERVICES</b>                    |  |          |      |           |                |
| <u>Mechanical for Electrical Services</u>     |  |          |      |           |                |
| 257   | New mechanical switchboard in Basement North Section (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |           | 5,000          |
| 258   | Review and replace associated wiring to new or existing plant items to North Section (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |           | 3,000          |
| <u>Electrical Work</u>                        |  |          |      |           |                |
| 259   | Remove existing switchboards, cabling, wiring, luminaires, supply connection to Orion low voltage network, earthing and bonding system (Item No. 414 and Cosgrove report as Provisional Sum) |          | Sum  |           | 50,000         |
| 260   | Electric power and lighting including submains and switchboards (Item No. 414 and Cosgrove report as Provisional Sum)  | 2,281    | m2   | 150.00    | 342,150        |
| 261   | Emergency lighting (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |           | 10,000         |
|   | <b>Total</b>   |          |      |           | <b>410,150</b> |
| <b>VERTICAL AND HORIZONTAL TRANSPORTATION</b> |  |          |      |           |                |
| 262   | Lift for three level building excluding shaft (Item No. 416)   | 1        | No   | 75,000.00 | 75,000         |
|   | <b>Total</b>   |          |      |           | <b>75,000</b>  |
| <b>SPECIAL SERVICES</b>                       |  |          |      |           |                |
| 263   | Test and commision voice and data point (Item No. 414 and Cosgrove report)   | 77       | No   | 50.00     | 3,850          |
| 264   | Card access security (refer to Mainland Security System quotation dated 14 August 2017 = \$10,340 say \$11,000)  |          | Sum  |           | 11,000         |
| 265   | Check and commision intruder security (Item No. 414 and Cosgrove report)   |          | Sum  |           | 3,000          |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1



| No.                             | Description  | Quantity | Unit | Rate     | Total          |
|---------------------------------|--|----------|------|----------|----------------|
| <b>Total</b>                    |  |          |      |          | <b>17,850</b>  |
| <b>SCAFFOLDING &amp; ACCESS</b> |  |          |      |          |                |
| 266                             | Temporary external brace 150x6 SHS due external brick work repair (Drawing No. SKR2, 3, 4 Item No. 412)  | 3        | No   | 1,100.00 | 3,300          |
| 267                             | Temporary scaffoldings due external requirement for crack injection, window glazing replacement, plaster and paint (Item No. 130 and 412 as Provisional Sum) |          | Sum  |          | 100,000        |
| 268                             | Temporary scaffoldings and propping to floors - internal requirement due to bell block walls removal (Drawing No. SKR2 Item No. 131 as Provisional Sum)      |          | Sum  |          | 70,000         |
| <b>Total</b>                    |  |          |      |          | <b>173,300</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1

| No. | Description                                   | Quantity | Unit | Rate  | Amount          | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|-------|-----------------|-----------------------|
| 1   | SITE WORKS                                    | 375      | m2   | 57.60 | 21,600          | 9.47                  |
| 2   | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00  | 1,080           | 0.47                  |
| 3   | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00 | 2,722           | 1.19                  |
| 4   | MARGIN  |          | %    | 8.00  | 2,032           | 0.89                  |
|     | <b>Total</b>                                  |          |      |       | <b>\$27,000</b> | <b>\$11.84</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1

| No.               | Description   | Quantity | Unit | Rate   | Total         |
|-------------------|---|----------|------|--------|---------------|
| <b>SITE WORKS</b> |   |          |      |        |               |
| 1                 | Remove and replace asphalt alley way including hardfill, excavation and backfill (Item No. 411 as Provisional Quantity = 36m2)        | 36       | m2   | 225.00 | 8,100         |
| 2                 | Remove, store and reinstate paving blocks including sand fill, hardfill and excavation (Item No. 411 as Provisional Quantity = 70 m2) | 70       | m2   | 150.00 | 10,500        |
| 3                 | Remove, store and reinstate metal security fence (Item No. 411 as Provisional Sum)  |          | Sum  |        | 3,000         |
|                   | <b>Total</b>  |          |      |        | <b>21,600</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1

| No. | Description                                   | Quantity | Unit | Rate  | Amount          | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|-------|-----------------|-----------------------|
| 1   | DRAINAGE                                      | 375      | m2   | 40.00 | 15,000          | 6.58                  |
| 2   | EXTERNAL LIGHT & POWER                        | 375      | m2   | 8.00  | 3,000           | 1.32                  |
| 3   | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00  | 900             | 0.39                  |
| 4   | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00 | 2,268           | 0.99                  |
| 5   | MARGIN  |          | %    | 8.00  | 1,693           | 0.74                  |
|     | <b>Total</b>                                  |          |      |       | <b>\$23,000</b> | <b>\$10.08</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1B: 67% NBS Rev: 1

| No.                               | Description  | Quantity | Unit | Rate | Total         |
|-----------------------------------|--|----------|------|------|---------------|
| <b>DRAINAGE</b>                   |  |          |      |      |               |
| <u>Sanitary Services</u>          |  |          |      |      |               |
| 1                                 | Water blastings to all existing drains to Cambridge Terrace and Worcester Street going to CCC main service lines (Item 417 and Cosgroves report as Provisional Sum)  |          | Sum  |      | 5,000         |
| 2                                 | Camera survey of sewer lateral of existing sanitary services in particular 3 sewer connections to Cambridge Terrace and 2 sewer connection to Worcester Street going to CCC sewer mains (Item 417 and Cosgroves report as Provisional Sum) |          | Sum  |      | 5,000         |
| 3                                 | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |      | 5,000         |
|                                   | <b>Total</b>   |          |      |      | <b>15,000</b> |
| <b>EXTERNAL LIGHT &amp; POWER</b> |  |          |      |      |               |
| 4                                 | Remove and reinstate site lighting affected by Basement demolition work (Item No. 101 b and 414)   |          | Sum  |      | 3,000         |
|                                   | <b>Total</b>   |          |      |      | <b>3,000</b>  |



# Appendix C

Option 1C: 100% NBS

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1



PROJECT SUMMARY

| No. | Description                             | Quantity | Unit | Rate     | Total               |
|-----|---|----------|------|----------|---------------------|
| 1   | BUILDING WORKS                          | 2,281    | m2   | 6,630.38 | 15,124,000          |
| 2   | EXTERNAL WORKS                          | 375      | m2   | 73.16    | 27,000              |
| 3   | INFRASTRUCTURE SERVICES                 | 375      | m2   | 60.96    | <u>23,000</u>       |
|     |   |          |      |          | 15,174,000          |
| 4   | BUILDING CONSENT (Item No. 504)         |          | %    | 0.50     | <u>76,000</u>       |
|     |   |          |      |          | 15,250,000          |
| 5   | CONSTRUCTION CONTINGENCY (Item No. 502) |          | %    | 10.00    | <u>1,525,000</u>    |
|     |   |          |      |          | 16,775,000          |
| 6   | PROFESSIONAL FEES (Item No. 503)        |          | %    | 12.00    | <u>2,015,000</u>    |
|     |   |          |      |          |                     |
|     | <b>Total</b>                            |          |      |          | <b>\$18,790,000</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1



| No. | Description                                   | Quantity | Unit | Rate   | Amount              | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|--------|---------------------|-----------------------|
| 1   | SITE PREPARATION                              | 2,281    | m2   | 995.05 | 2,269,714           | 995.05                |
| 2   | SUBSTRUCTURE                                  | 2,281    | m2   | 723.44 | 1,650,160           | 723.44                |
| 3   | FRAME   | 2,281    | m2   | 555.90 | 1,268,008           | 555.90                |
| 4   | STRUCTURAL WALLS                              | 2,281    | m2   | 981.98 | 2,239,891           | 981.98                |
| 5   | UPPER FLOORS                                  | 2,281    | m2   | 218.49 | 498,373             | 218.49                |
| 6   | ROOF  | 2,281    | m2   | 9.43   | 21,500              | 9.43                  |
| 7   | EXTERIOR WALLS AND EXTERIOR FINISH            | 2,281    | m2   | 136.11 | 310,471             | 136.11                |
| 8   | WINDOWS AND EXTERIOR DOORS                    | 2,281    | m2   | 86.61  | 197,560             | 86.61                 |
| 9   | STAIRS AND BALUSTRADES                        | 2,281    | m2   | 39.54  | 90,180              | 39.54                 |
| 10  | INTERIOR WALLS                                | 2,281    | m2   | 290.78 | 663,266             | 290.78                |
| 11  | INTERIOR DOORS AND WINDOWS                    | 2,281    | m2   | 50.64  | 115,500             | 50.64                 |
| 12  | FLOOR FINISHES                                | 2,281    | m2   | 107.97 | 246,285             | 107.97                |
| 13  | WALL FINISHES                                 | 2,281    | m2   | 191.40 | 436,585             | 191.40                |
| 14  | CEILING FINISHES                              | 2,281    | m2   | 93.06  | 212,275             | 93.06                 |
| 15  | FITTINGS AND FIXTURES                         | 2,281    | m2   | 30.69  | 70,000              | 30.69                 |
| 16  | SANITARY PLUMBING                             | 2,281    | m2   | 90.40  | 206,200             | 90.40                 |
| 17  | HEATING AND VENTILATION SERVICES              | 2,281    | m2   | 39.68  | 90,500              | 39.68                 |
| 18  | FIRE SERVICES                                 | 2,281    | m2   | 298.95 | 681,915             | 298.95                |
| 19  | ELECTRICAL SERVICES                           | 2,281    | m2   | 179.81 | 410,150             | 179.81                |
| 20  | VERTICAL AND HORIZONTAL TRANSPORTATION        | 2,281    | m2   | 32.88  | 75,000              | 32.88                 |
| 21  | SPECIAL SERVICES                              | 2,281    | m2   | 7.83   | 17,850              | 7.83                  |
| 22  | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00   | 588,569             | 258.03                |
| 23  | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00  | 1,483,194           | 650.24                |
| 24  | SCAFFOLDING & ACCESS                          | 2,281    | m2   | 75.98  | 173,300             | 75.98                 |
| 25  | MARGIN  |          | %    | 8.00   | 1,107,452           | 485.51                |
|     | <b>Total</b>                                  |          |      |        | <b>\$15,124,000</b> | <b>\$6,630.43</b>     |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1



| No.                     | Description  | Quantity | Unit | Rate     | Total   |
|-------------------------|--|----------|------|----------|---------|
| <b>SITE PREPARATION</b> |  |          |      |          |         |
| <u>Site Preparation</u> |  |          |      |          |         |
| 1                       | Asbestos further testing and removal (Item No. 403 - Provisional Sum)  |          | Sum  |          | 100,000 |
| 2                       | Remove furniture, fixings and equipments (FF&E) and store offsite (Item No. 405 as Provisional Sum)  |          | Sum  |          | 20,000  |
| 3                       | Remove and store internal pair of hardwood timber frame door including glazing and lead lights affected by Ground Floor slab removal (Item 101 b)  | 1        | No   | 1,000.00 | 1,000   |
| 4                       | Remove marble flooring and dispose offsite due to Ground Floor North and South section steel screw pile installation (Item No. 102 and 103)  | 15       | m2   | 65.00    | 975     |
| 5                       | Remove and clean pigeon dropping to existing floors, walls, ceiling bulkheads and sanitation of North and South Section (Item No. 402 as Provisional Sum)  |          | Sum  |          | 30,000  |
| 6                       | Remove existing carpet due to GF concrete slab removal, steel screw piles installation, block work and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)   | 1,676    | m2   | 10.00    | 16,760  |
| 7                       | Allow engineers full assessment of floors, walls and cracks after lifting floor finishes and removal of wall linings to North and South Section. This includes detailed dilapidation survey and report (Item No. 211, 301, 302, 303 and 419 as Provisional Sum). This is part of Professional Fee. |          | NOTE |          |         |
| 8                       | Remove and store timber base boards due to GF concrete slab removal, steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108, 116 and 210)  | 1,459    | m    | 15.00    | 21,885  |
| 9                       | Remove vinyl and dispose offsite due to steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)  | 164      | m2   | 20.00    | 3,280   |
| 10                      | Remove entry matwell due to Ground Floor North and South Section steel screw pile installation (Item No. 102 and 103)  | 3        | m2   | 100.00   | 300     |
| 11                      | Remove and store T&G floor and joists to Ground Floor North Section (Item No. 102)   | 241      | m2   | 75.00    | 18,075  |
| 12                      | Remove and store T&G floor and joist to Ground Floor South Section (Item No. 103)  | 373      | m2   | 75.00    | 27,975  |
| 13                      | Remove and store external glazed steel casement windows including transom, frame, hardware and finish (Item No. 405)   | 277      | m2   | 300.00   | 83,100  |
| 14                      | Remove and store external glazed steel bay windows including transom, frame, hardware and finish (Item No. 405)  | 64       | m2   | 350.00   | 22,400  |
| 15                      | Remove and store external glazed steel casement windows including semi-circle top, transom, frame, hardware and finish (Item No. 405)  | 60       | m2   | 400.00   | 24,000  |
| 16                      | Remove and store external glass louvre windows to toilet (Item No. 405)  | 9        | No   | 150.00   | 1,350   |
| 17                      | Remove and store pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish (Item No. 405)   | 1        | No   | 750.00   | 750     |
| 18                      | Remove and store of exterior quality solid core door (1.8m x 2.1m) including transom, frame, hardware and finish (Item No. 405)  | 1        | No   | 600.00   | 600     |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total  |
|-----|--|----------|------|----------|--------|
| 19  | Remove and store single exterior quality solid core door including transom, frame, hardware and finish (Item No. 405)  | 2        | No   | 150.00   | 300    |
| 20  | Remove and store pair of hardwood timber door frame doors including glazing, hardware and finish due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103, 209 and 405)              | 2        | No   | 1,000.00 | 2,000  |
| 21  | Remove and store lead lights due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103 and 405)   | 4        | No   | 300.00   | 1,200  |
| 22  | Remove and store single hardwood timber solid core paint grade door including frame, hardware and finish due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405) | 100      | No   | 200.00   | 20,000 |
| 23  | Remove and store single hardwood timber solid core paint grade slider door including frame, hardware and finish due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b and 103)               | 1        | No   | 200.00   | 200    |
| 24  | Remove and store door vision panels due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b, 102 and 103)  | 10       | No   | 200.00   | 2,000  |
| 25  | Remove and store door closer due to Ground Floor concrete slab removal, steel screw pile installation and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 12       | No   | 55.00    | 660    |
| 26  | Remove and store single proprietary FRR doors -/60/60 complete due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 4        | No   | 200.00   | 800    |
| 27  | Remove and store single glazed timber window including frame, hardware and finish due to Ground floor concrete slab removal and steel screw piles and misaligned doors (Item No. 101 b, 102, 103 and 405)                          | 10       | m2   | 250.00   | 2,500  |
| 28  | Remove and dispose offsite broken glazing to doors and windows (Item No. 206)  |          | Sum  |          | 5,000  |
| 29  | Bobcat mobilization and demobilization North Section (Item No. 101 b)  |          | Sum  |          | 1,000  |
| 30  | Loader mobilization and demobilization North Section (Item No. 101 b)  |          | Sum  |          | 2,000  |
| 31  | Pile rigger 12 Tonner mobilization and demobilization (Item No. 101 b)   |          | Sum  |          | 2,000  |
| 32  | Remove existing ceiling linings and dispose offsite (Item No. 201 and 202)   | 1,938    | m2   | 31.40    | 60,800 |
|     | <u>Demolition</u>  |          |      |          |        |
| 33  | Remove concrete encasement to existing steel columns and dispose offsite due to Ground Floor temporary transfer truss installation North Section (Item No. 101 b and c i as Provisional Sum)                                       |          | Sum  |          | 4,000  |
| 34  | Demolish existing 125 reinforced concrete walls and dispose offsite due to Ground Floor concrete slab removal North Section (Item No. 101 b and c j)   | 17       | m2   | 700.00   | 11,900 |
| 35  | Demolish existing bell block walls and dispose offsite due to Ground Floor concrete slab removal North Section (Item No. 101 b and c j)  | 92       | m2   | 80.00    | 7,360  |
| 36  | Demolish existing 150 reinforced concrete floor slab to Ground Floor North Section and dispose offsite (Item No. 101 b, c iii and 104)   | 101      | m2   | 800.00   | 80,800 |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total   |
|-----|--|----------|------|----------|---------|
| 37  | Demolish existing 200 x 350 reinforced concrete beams to Basement North Section and dispose offsite (Item No. 101 b and c iii)   | 13       | m    | 750.00   | 9,758   |
| 38  | Demolish existing 200 x 200 reinforced concrete column to Basement North Section and dispose offsite (Item No. 101 b and c v)  | 6        | m    | 650.00   | 3,900   |
| 39  | Demolish existing stair walls and coal chute walls to Basement North Section and dispose offsite (Item No. 101 b and c v)  | 35       | m2   | 80.00    | 2,800   |
| 40  | Demolish existing 250 reinforced concrete walls to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 57       | m2   | 1,280.00 | 72,960  |
| 41  | Demolish existing 300 reinforced concrete walls to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 54       | m2   | 1,500.00 | 81,000  |
| 42  | Demolish existing 300 x 900 reinforced concrete columns to Basement North Section and dispose offsite (Item No. 101 b and c v)   | 20       | m    | 950.00   | 19,000  |
| 43  | Demolish existing 250 reinforced concrete floor slab to Basement North section and dispose offsite (Item No. 101 b and c v)  | 101      | m2   | 1,100.00 | 111,100 |
| 44  | Demolish existing reinforced concrete stairs and landings to Basement North section and dispose offsite (Item No. 101 b and c v)   |          | Sum  |          | 8,000   |
| 45  | Demolish existing lift pit, walls and roof to North Section and dispose offsite (Item No. 125)   | 216      | m2   | 1,280.00 | 276,480 |
| 46  | Demolish existing reinforced concrete strip footing to Ground Floor North Section and dispose offsite (Item No. 101, 102, 103 and 105)   | 167      | m    | 1,200.00 | 199,836 |
| 47  | Demolish existing bell block walls affected by steel screw piling installation to North / South Section and due to bell block walls demolition Ground to Second Floor North Section then dispose offsite (Item No. 102, 103 and 105) | 1,086    | m2   | 80.00    | 86,880  |
| 48  | Demolish existing external double brick walls to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 61       | m2   | 120.00   | 7,320   |
| 49  | Demolish existing 300 x 900 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)  | 4        | m    | 1,400.00 | 5,600   |
| 50  | Demolish existing 600 x 1400 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)   | 4        | m    | 3,250.00 | 13,000  |
| 51  | Demolish brick infill along interior wall line between North and South Section (Drawing No. SKR2, 3, 4 Item No. 107)   | 43       | m2   | 80.00    | 3,440   |
|     | <u>Temporary transfer truss, beams, foundation and piles to Ground Floor North Section (Item No. 101 b and c i)</u>  |          |      |          |         |
| 52  | 380 PFC transfer truss columns, primed   | 1,690    | kg   | 8.00     | 13,520  |
| 53  | 380 PFC transfer truss beams, primed   | 3,083    | kg   | 8.00     | 24,664  |
| 54  | 380 PFC transfer truss diagonal beams, primed  | 1,705    | kg   | 8.00     | 13,640  |
| 55  | Secondary steelwork (not detailed)   | 648      | kg   | 8.00     | 5,184   |
| 56  | Miscellaneous plates and cleats  | 972      | kg   | 18.00    | 17,496  |
| 57  | Allow for complex installations and substantial fixings through existing columns (Provisional Sum)   |          | Sum  |          | 7,500   |
| 58  | Paint to steelwork - part of overall health and safety (OHS)   | 113      | m2   | 40.00    | 4,520   |
| 59  | Remove temporary transfer truss after completing all related work (Provisional Sum)  |          | Sum  |          | 10,000  |
|     | <u>Temporary lateral braces to main columns of Basement, Ground and First Floor North Section (Item No. 101 b and c iv)</u>  |          |      |          |         |
| 60  | 380 PFC lateral columns, primed  | 622      | kg   | 8.00     | 4,976   |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No.   | Description   | Quantity | Unit | Rate     | Total            |
|---|---|----------|------|----------|------------------|
| 61  | 380 PFC lateral beams, primed   | 3,257    | kg   | 8.00     | 26,056           |
| 62  | 380 PFC lateral hangers to truss, primed  | 431      | kg   | 8.00     | 3,448            |
| 63  | Secondary steelwork (not detailed)  | 431      | kg   | 8.00     | 3,448            |
| 64  | Miscellaneous plates and cleats   | 647      | kg   | 18.00    | 11,646           |
| 65  | Provide substantial fixings through existing columns, beams and post down to floor (Provisional Sum)                            |          | Sum  |          | 4,000            |
| 66  | Paint to steelwork - part of overall health and safety (OHS)  | 75       | m2   | 40.00    | 3,000            |
| 67  | Remove temporary lateral braces after completing all related work (Provisional Sum)   |          | Sum  |          | 9,000            |
| <u>Substructure Construction</u>  |   |          |      |          |                  |
| 68  | Bulk excavation and dispose off-site (Item No. 101 b and c vi)  | 665      | m3   | 120.00   | 79,800           |
| 69  | Imported backfill material (Item No. 101 b and c xvii)  | 665      | m3   | 65.00    | 43,225           |
| 70  | Bulk imported hardfill - lay 750mm compacted hardfill in 200mm maximum layers over base of excavation (Item No. 101 b and c ix) | 94       | m3   | 95.00    | 8,930            |
| 71  | 50 site concrete (Item No. 101 b and c x)   | 7        | m3   | 250.00   | 1,750            |
| 72  | Removal and dumping of stockpiled soils (Item No. 101 b)  | 96       | m3   | 85.00    | 8,160            |
| 73  | Underpin existing east side foundation in 1.2m section 'Hit and Miss' adjacent to basement (Item No. 101 b and c vii)           |          | Sum  |          | 80,000           |
| <u>Basement Construction</u>  |   |          |      |          |                  |
| 74  | Dewatering for basement excavation (Item No. 101 b and c ii as Provisional Sum)   |          | Sum  |          | 200,000          |
| 75  | Bulk basement excavation (Item No. 101 b and c vi)  | 761      | m3   | 75.00    | 57,075           |
| 76  | Allow difficulty of equipment and excavation access (Item 101 b and c vi as Provisional Sum)                                    |          | Sum  |          | 60,000           |
| <u>Temporary retaining shotcrete walls - see South Island Shotcrete quotation dated 16 September 2015 (Item No. 101 b and c viii). Allow 10% increase in unit rate (assumed).</u> |   |          |      |          |                  |
| 77  | Supply, pump and spray 40MPa shotcrete concrete with an "off the nozzle" finish (vertical area = 150m2, 100mm thick)            | 15       | m3   | 880.00   | 13,200           |
| 78  | Extra over waterproof additive  | 15       | m3   | 132.00   | 1,980            |
| 79  | Supply and install 1 layer of SE62 ductile mesh   | 150      | m2   | 27.50    | 3,500            |
| 80  | Subcontractor site establishment and disestablishment for soil nail rig   |          | Sum  |          | 2,500            |
| 81  | Soil nailing and tie backs 3.5m deep approximately 1 row at 1.5m spacing  | 34       | No   | 1,320.00 | 44,880           |
| 82  | Extra over shotcrete along sloped area (166m2, 100mm thick) and not vertical as per quote (Provisional Quantity)                | 2        | m3   | 880.00   | 1,760            |
| 83  | Extra over supply and install 1 layer of SE62 ductile mesh (166m2 - 150m2 = 16m2)   | 16       | m2   | 27.50    | 373              |
| 84  | Extra over soil nailing and tie backs to other side (Provisional Quantity)  | 17       | No   | 1,320.00 | 22,440           |
| <b>Total</b>  |   |          |      |          | <b>2,269,714</b> |
| <b>SUBSTRUCTURE</b>   |   |          |      |          |                  |
| <u>Substructure Construction</u>  |   |          |      |          |                  |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No.   | Description  | Quantity | Unit | Rate     | Total   |
|---|--|----------|------|----------|---------|
| 85  | Reinstate T&G timber floor on 50 x 125 joists and 75 x 200 sleepers on bearers including R1.8 insulation, excavation and disposal to Ground Floor North Section (Item No. 102) | 241      | m2   | 190.00   | 45,790  |
| 86  | Reinstate T&G timber floor on 50 x 125 joists and 75 x 200 sleepers on bearers including R1.8 insulation, excavation and disposal to Ground Floor South Section (Item No. 103) | 373      | m2   | 190.00   | 70,870  |
| 87  | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor North Section (Item No. 102)            | 114      | m    | 920.00   | 104,760 |
| 88  | 500 x 500 reinforced concrete underpin beams including formwork, excavation and disposal over steel screw piles Ground Floor North Section (Item No. 102)                      | 76       | m    | 385.00   | 29,087  |
| 89  | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor South Section (Item No. 103)            | 176      | m    | 920.00   | 161,754 |
| 90  | 500 x 500 reinforced concrete underpin beams including formwork, excavation and disposal over steel screw piles Ground Floor South Section (Item No. 103)                      | 221      | m    | 385.00   | 85,216  |
| 91  | 300 reinforced concrete lift pit including sump, formwork, excavation and disposal (Item No. 125)  | 1        | No   | 7,700.00 | 7,700   |
| 92  | 600 x 600 reinforced concrete strip footing including formwork, excavation and disposal (Item No. 101, 102, 103 & 105)   | 167      | m    | 425.00   | 70,775  |
| <u>Basement Construction</u>                              |  |          |      |          |         |
| 93  | 400 reinforced concrete basement floor slab including tanking and water stops to Basement North Section (Item No. 101 b and c xi xiv)  | 101      | m2   | 1,200.00 | 121,200 |
| 94  | 250 reinforced concrete basement wall including tanking and water stops (Item No. 101 b and c xi xiii xv)  | 57       | m2   | 800.00   | 45,600  |
| 95  | 300 reinforced concrete basement wall including tanking and water stops (Item No. 101 b and c xi xiii xv)  | 54       | m2   | 1,000.00 | 54,000  |
| <u>Piling</u>   |  |          |      |          |         |
| 96  | 168 dia steel screw piles to an average of 3m deep (88 No.) to Ground Floor North Section - see Piletech email high level quotation dated 21 September 2015 (Item No. 102)     | 88       | No   | 2,273.00 | 200,000 |
| 97  | Supply and install structural steel angle fixed to new foundation beam and pile caps - Ground Floor North Section (Item No. 102)   | 88       | No   | 1,500.00 | 132,000 |
| 98  | Jack, pack and grout screw piles (40 No.) to Ground Floor North Section (Item No. 102 as Provisional Sum)  |          | Sum  |          | 100,000 |
| 99  | 168 dia steel screw piles to an average of 3m deep (89 No.) to Ground Floor South Section (Item No. 103)   | 89       | No   | 2,273.00 | 202,300 |
| 100   | Supply and install structural steel angle fixed to new foundation beam and pile caps - Ground Floor South Section (Item No. 102)   | 89       | No   | 1,500.00 | 133,500 |
| 101   | Jack, pack and grout screw piles (8 No.) to Ground Floor South Section (Item No. 103 as Provisional Sum)   |          | Sum  |          | 50,000  |
| <u>Option 1C - 100% NBS Strenthening Work, Item No. g</u> |  |          |      |          |         |
| 102   | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor South Section                           | 24       | m    | 920.00   | 21,970  |



Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total            |
|-----|--|----------|------|----------|------------------|
| 103 | 168 dia steel screw piles to an average of 3m deep to Ground Floor South Section   | 6        | No   | 2,273.00 | 13,638           |
|     | <b>Total</b>   |          |      |          | <b>1,650,160</b> |
|     | <b>FRAME</b>   |          |      |          |                  |
|     | <u>Structural Steel</u>  |          |      |          |                  |
| 104 | 150x6 SHS columns, primed to Basement North Section (Item No. 101 b and c xiv)   | 208      | kg   | 8.00     | 1,664            |
| 105 | Secondary steelwork to Basement North Section (not detailed - Item No. 101 b and c xiv)  | 21       | kg   | 8.00     | 168              |
| 106 | Miscellaneous plates and cleats to Basement North Section (Item No. 101 b and c xiv)   | 32       | kg   | 18.00    | 576              |
| 107 | Intumescent paint to steelwork Basement North Section (Item No. 101 b and c xiv)   | 2        | m2   | 150.00   | 300              |
|     | <u>Insitu Concrete</u>   |          |      |          |                  |
| 108 | 300 x 600 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)   | 11       | m    | 480.00   | 5,280            |
| 109 | 800 x 800 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)   | 3        | m    | 1,200.00 | 3,600            |
| 110 | 900 x 1400 reinforced concrete columns to Basement North Section (Item No. 101 b and c xiv)  | 3        | m    | 2,150.00 | 6,450            |
| 111 | 200 x 350 reinforced concrete beams to Basement North Section (Item No. 101 b and c xviii)   | 13       | m    | 250.00   | 3,250            |
| 112 | 450 x 600 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)                                    | 4        | m    | 700.00   | 2,800            |
| 113 | 600 x 1400 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111)                                   | 4        | m    | 1,780.00 | 7,120            |
| 114 | Concrete crack epoxy injection to exterior plastered columns North Section (Item No. 112)  | 25       | m    | 250.00   | 6,250            |
| 115 | Concrete crack epoxy injection to exterior plastered beams North Section (Item No. 113)  | 25       | m    | 250.00   | 6,250            |
| 116 | Concrete crack epoxy injection to exterior plastered columns South Section (Item No. 114)  | 25       | m    | 250.00   | 6,250            |
| 117 | Concrete crack epoxy injection to exterior plastered beams South Section (Item No. 115)  | 25       | m    | 250.00   | 6,250            |
|     | <u>Roof</u>  |          |      |          |                  |
| 118 | 225 x 225 reinforced concrete bond beam to parapet North Section (Drawing No. SKR4 Item No. 118)                                       | 42       | m    | 330.00   | 13,860           |
| 119 | Drill and epoxy H12 starter reinforcing bar into all adjacent piers and beams to parapet North Section (Drawing No. SKR4 Item No. 118) | 226      | No   | 50.00    | 11,300           |
| 120 | 225 x 225 reinforced concrete bond beam to parapet South Section (Item No. 119)  | 9        | m    | 330.00   | 2,970            |
| 121 | Drill and epoxy H12 starter reinforcing bar into all adjacent piers and beams to parapet North Section (Item No. 119)                  | 42       | No   | 50.00    | 2,100            |
|     | <u>Supply and installation of Sika Cabodur plates (Option 1C Item No. f)</u>   |          |      |          |                  |
| 122 | 100mm x 1.2mm (2 sides) spaced at 300mm centres to North Section columns (Provisional Quantity)  | 2,700    | m    | 132.00   | 356,400          |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No.                     | Description   | Quantity | Unit | Rate     | Total            |
|-------------------------|---|----------|------|----------|------------------|
| 123                     | 50mm x 1.2mm (all 4 sides) spaced at 150mm centres to North Section columns (Provisional Quantity)  | 3,276    | m    | 91.00    | 298,116          |
| 124                     | 100mm x 1.2mm (2 sides) spaced at 300mm centres to South Section columns (Provisional Quantity)   | 1,890    | m    | 132.00   | 249,480          |
| 125                     | 50mm x 1.2mm (all 4 sides) spaced at 150mm centres to South Section columns (Provisional Quantity)  | 2,294    | m    | 121.00   | 277,574          |
| <b>Total</b>            |   |          |      |          | <b>1,268,008</b> |
| <b>STRUCTURAL WALLS</b> |   |          |      |          |                  |
| 126                     | 270 reinforced concrete insitu wall including formwork and reinforcement to lift well Basement to roof North Section (Item No. 125, 126 and 127)  | 170      | m2   | 685.00   | 116,450          |
| 127                     | Add new 200 reinforced shotcrete skin walls to South Section (Option 1C Item No. c.)  | 605      | m2   | 1,350.00 | 816,750          |
| 128                     | Drill and epoxy D10 hooked ties into the existing wall (100mm embedment) at 600 centres each way to South Section (Option 1C Item No. c. b.)  | 480      | No   | 35.00    | 16,800           |
| 129                     | Drill and epoxy H12 vertical / starter bars to pass through existing floors at 200 each way to South Section (Option 1C Item No. c. c.)   | 942      | No   | 50.00    | 47,100           |
| 130                     | H16 reinforcement to shotcrete skin walls at 200 each way to South Section (Option 1C Item No. c. a.)   | 18,995   | kg   | 3.50     | 66,483           |
| 131                     | Drill and epoxy H12 vertical bars into underside of the roof slab / floor at 200 each way to South Section (Option 1C Item No. c. d.)   | 314      | No   | 50.00    | 15,700           |
| 132                     | Add new 250 reinforced insitu concrete shear walls to South Section (Option 1C Item No. d.)   | 423      | m2   | 430.40   | 182,059          |
| 133                     | Drill and epoxy D10 hooked ties into the existing columns where the new wall is parallel to the adjacent to existing wall (100mm embedment) at 600 centres each way to South Section (Option 1C Item No. d. b.) | 280      | No   | 35.00    | 9,800            |
| 134                     | Drill and epoxy H16 vertical / starter bars to pass through existing floors at 200 each way to South Section (Option 1C Item No. d. c.)   | 10,800   | No   | 60.00    | 648,000          |
| 135                     | H16 reinforcement to concrete shear walls at 200 each way, each face to South Section (Option 1C Item No. d. a.)  | 27,897   | kg   | 3.50     | 97,640           |
| 136                     | HR10 concrete shear wall stirrups (600 long) spaced at 100 centres, at each end wall, over the bottom sotrey height to South Section (Option 1C Item No. d. a.)   | 3,460    | kg   | 3.50     | 12,110           |
| 137                     | 2HR10 concrete shear wall links spaced at 100 centres, at each end wall, over the bottom sotrey height to South Section (Option 1C Item No. d. a.)  | 49,117   | kg   | 3.50     | 171,910          |
| 138                     | Drill and epoxy H12 vertical bars into underside of the roof slab / floor at 200 each way to South Section (Option 1C Item No. d. d.)   | 217      | No   | 50.00    | 10,850           |
| 139                     | Drill and epoxy H16 horizontal starter bars into the existing columns at the ends of new shear walls at 200 centres, 1000 long with 250mm embedment to South Section (Option 1C Item No. d. e.)                 | 280      | No   | 60.00    | 16,800           |
| 140                     | Cut back existing wall 400 each side and reform with new 20 gap to South Section (Option 1C Item No. e)   | 44       | m    | 260.00   | 11,440           |
| <b>Total</b>            |   |          |      |          | <b>2,239,891</b> |
| <b>UPPER FLOORS</b>     |   |          |      |          |                  |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1

| No.                                       | Description   | Quantity | Unit | Rate   | Total          |
|---|---|----------|------|--------|----------------|
| 141                                       | 150 reinforced concrete topping on interspan suspended floor system to Ground Floor North Section (Item No. 101 b, c xviii and 104)   | 101      | m2   | 250.00 | 25,203         |
| 142                                       | 150 reinforced concrete topping on interspan suspended floor system due to reconstruct lift shaft and walls from Basement to Roof North Section (Item No. 101 b)  | 1        | m2   | 250.00 | 250            |
| 143                                       | Drill and epoxy H12 reinforcing starter bars (L=200) spaced at 400 into existing floors (Item No. 101 b)  | 124      | No   | 30.00  | 3,720          |
| 144                                       | 150 x 350 deep rib beams in 600 long sections within existing First to Second Floor North Section to accommodate starters for block walls that do not align with existing floor ribs (Drawing No. SKR20 Item No. 105)   | 50       | m    | 250.00 | 12,500         |
| 145                                       | Concrete crack epoxy injection to concrete floors (First Floor = 180m, Second Floor = 340m) North and South Section (Drawing No. SKR15, 16 Item No. 116)<br><u>Supply and installation of Sika Cabodur plates (Option 1C Item No. f)</u>  | 520      | m    | 250.00 | 130,000        |
| 146                                       | 100mm x 1.2mm to First, Second Floor and Roof Levels - North Sections floor diaphragm (Provisional Quantity)  | 1,500    | m    | 121.00 | 181,500        |
| 147                                       | 100mm x 1.2mm to First, Second Floor and Roof Levels - South Sections floor diaphragm (Provisional Quantity)  | 1,200    | m    | 121.00 | 145,200        |
| <b>Total</b>                              |   |          |      |        | <b>498,373</b> |
| <b>ROOF</b>                               |   |          |      |        |                |
| 148                                       | Remove and reinstate existing sections of light weight roof and membrane (Drawing SKR4 Item No. 212 as Provisional Quantity)  | 100      | m2   | 180.00 | 18,000         |
| 149                                       | 150 reinforced suspended floor system with waterproofing membrane to roof slab lift shat North Section (Item No. 128)   | 10       | m2   | 350.00 | 3,500          |
| <b>Total</b>                              |   |          |      |        | <b>21,500</b>  |
| <b>EXTERIOR WALLS AND EXTERIOR FINISH</b> |   |          |      |        |                |
| 150                                       | 240 reinforced blockwork walls with plaster finish to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 61       | m2   | 360.00 | 21,960         |
| 151                                       | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors to Ground - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 314      | No   | 50.00  | 15,700         |
| 152                                       | HR10 reinforcing bar spaced at 200 links over windows to First - Second Floor North Section (Drawing No. SKR2, 3, 4 Item No. 109)   | 71       | No   | 25.00  | 1,775          |
| 153                                       | Remove 25mm thick internal plaster for installation of Helifix ties and replaster to North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 215      | m2   | 90.00  | 19,350         |
| 154                                       | Supply and installation of Helifix ties at 400 centres each way and at 200 centres to perimeter of windows to North Section - Fulton Hogan supply and installation of Helifix quotation (without plaster and paint) for Helifix dated 17 September 2015 for 2000 numbers (Drawing No. SKR2, 3, 4 Item No. 109). Add 10% for unit rate increase. | 215      | m2   | 240.00 | 51,600         |
| 155                                       | Paint to external walls due to Helifix installation to North Section (Drawing No. SKR2, 3, 4 Item No. 109)  | 215      | m2   | 40.00  | 8,600          |
| 156                                       | 240 reinforced blockwork walls (L=5m) with plaster to South Section (Item No. 110)  | 16       | m2   | 360.00 | 5,760          |
| 157                                       | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors to South Section (Item No. 110)   | 254      | No   | 50.00  | 12,700         |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No.                               | Description   | Quantity | Unit | Rate      | Total          |
|-----------------------------------|---|----------|------|-----------|----------------|
| 158                               | Remove existing brick parapet and replace 240 reinforced blockwork walls with plaster finish to Roof parapet wall North Section (Drawing No. SKR4 Item No. 117 and 213)     | 7        | m2   | 425.00    | 2,975          |
| 159                               | Drill and epoxy H12 starter reinforcing bar (L=1000) spaced at 200 into piers and 300 into beams to Roof parapet wall North Section (Drawing No. SKR4 Item No. 117 and 213) | 59       | No   | 50.00     | 2,950          |
| 160                               | Concrete crack epoxy injection to parapet walls North Section Cambridge Tce frontage (Item No. 120)   | 20       | m    | 250.00    | 5,000          |
| 161                               | Concrete crack epoxy injection to parapet walls South Section Cambridge Tce and Worcester frontages (Item No. 121)  | 20       | m    | 250.00    | 5,000          |
| 162                               | Concrete crack epoxy injection to exterior walls North and South Section (Item No. 205)   | 520      | m    | 250.00    | 130,000        |
| 163                               | Paint to external walls due to wall repair to South Section (Item No. 117, 120, 205 and 213)  | 600      | m2   | 40.00     | 24,000         |
| 164                               | Allow new joint flashing to exterior walls North Section and new building adjacent to the boundary (Item No. 208)   | 26       | m    | 120.00    | 3,101          |
| <b>Total</b>                      |   |          |      |           | <b>310,471</b> |
| <b>WINDOWS AND EXTERIOR DOORS</b> |   |          |      |           |                |
| 165                               | Reinstall and make good external glazed steel casement windows including transom, frame, hardware and finish (Item No. 405)   | 277      | m2   | 450.00    | 124,650        |
| 166                               | Reinstall and make good external glazed steel bay windows including transom, frame, hardware and finish (Item No. 405)  | 64       | m2   | 500.00    | 32,000         |
| 167                               | Reinstall and make good external glazed steel casement windows including semi-circle top, transom, frame, hardware and finish (Item No. 405)                                | 60       | m2   | 600.00    | 36,000         |
| 168                               | Reinstall and make good external glass louvre windows to toilet (Item No. 405)  | 9        | No   | 200.00    | 1,800          |
| 169                               | Rehang, install and make good pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish (Item No. 209 and 405)                   | 1        | No   | 1,500.00  | 1,500          |
| 170                               | Rehang, install and make good pair of exterior quality solid core door (1.8m x 2.1m) including transom, frame, hardware and finish (Item No. 209 and 405)                   | 1        | No   | 1,000.00  | 1,000          |
| 171                               | Rehang, install and make good single exterior quality solid core door including transom, frame, hardware and finish (Item No. 209 and 405)                                  | 2        | No   | 250.00    | 500            |
| 172                               | Remove all door barrel bolts for egress and make good (Item No. 405 and Cosgrove report)  | 2        | No   | 55.00     | 110            |
| <b>Total</b>                      |   |          |      |           | <b>197,560</b> |
| <b>STAIRS AND BALUSTRADES</b>     |   |          |      |           |                |
| 173                               | Reinforced concrete in-situ stair including landing to Basement (Item No. 101 b and c xvi)  | 1        | No   | 25,000.00 | 25,000         |
| 174                               | Allowance for steel plate connectors to underside of flights at landings and slabs - 800x200x16 MS bent flats - 2 per section to main stairs North Section (Item No. 130)   | 12       | No   | 1,400.00  | 16,800         |
| 175                               | Rake out and epoxy connections to existing floors at each level to main stairs North Section (Item No. 130)   | 12       | sets | 990.00    | 11,880         |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No.                               | Description  | Quantity | Unit | Rate     | Total          |
|-----------------------------------|--|----------|------|----------|----------------|
| 176                               | Reinstatement of marble finishes with alternative product (PC Sum for Supply \$400m2) to main stairs North Section (Item No. 130)  | 20       | m2   | 800.00   | 16,000         |
| 177                               | Provisional allowance for SHS supports posts at connections to upper floors - main stairs North Section (Item No. 130)   |          | Sum  |          | 20,500         |
|                                   | <b>Total</b>   |          |      |          | <b>90,180</b>  |
| <b>INTERIOR WALLS</b>             |  |          |      |          |                |
| 178                               | 190 reinforced blockwork walls with plaster finish to stair and coal chute walls Basement North Section (Item No. 101 b and c xvi)   | 35       | m2   | 310.00   | 10,850         |
| 179                               | 125 reinforced concrete insitu wall including formwork to Ground Floor North Section affected by slab removal (Item No. 101 b, c viii and 108)   | 17       | m2   | 490.00   | 8,330          |
| 180                               | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent beams affected by Ground Floor slab removal North Section (Item No. 101 b and c viii)  | 26       | No   | 50.00    | 1,300          |
| 181                               | 140 reinforced blockwork walls including plaster finish both sides to Ground Floor North Section affected by slab removal (Item No. 101 b and c viii)  | 92       | m2   | 270.00   | 24,840         |
| 182                               | 140 reinforced blockwork walls including plaster finish both sides affected by Ground Floor steel screw piling installation North Section and due to bell block walls demolition Ground to Second Floor North Section (Item No. 102, 103 and 105)  | 1,086    | m2   | 270.00   | 293,220        |
| 183                               | Drill and epoxy H12 starter reinforcing bars (L=1000) spaced at 200 into adjacent columns, beams and floors affected by Ground Floor steel screw piling installation North / South Section and due to bell block walls demolition Ground to Second Floor North Section (Item No. 102, 103 and 105) | 4,835    | No   | 50.00    | 241,750        |
| 184                               | Concrete crack epoxy injection to partition walls South Section (Drawing No. SKR2, 3, 4 Item No. 106)  | 100      | m    | 250.00   | 25,000         |
| 185                               | 240 reinforced blockwork walls with plaster finish along interior wall line between North and South Section (Drawing No. SKR2, 3, 4 Item No. 107)  | 43       | m2   | 360.00   | 15,480         |
| 186                               | 300 x 300 x 10 plates bolted with M16 chemsets to concrete as connectors to junction of North and South Section (Item No. 122, 123 and 124)  | 40       | No   | 360.00   | 14,336         |
| 187                               | Allow to epoxy inject gap between concrete frames - both sides to junction of North and South Section (Item No. 122,123 and 124)   | 44       | m    | 460.00   | 20,240         |
| 188                               | Allow to plaster repairs both sides of junction between North and South Section (Item No. 122,123 and 124)   | 44       | m    | 180.00   | 7,920          |
|                                   | <b>Total</b>   |          |      |          | <b>663,266</b> |
| <b>INTERIOR DOORS AND WINDOWS</b> |  |          |      |          |                |
| 189                               | Rehang and make good pair of hardwood timber door frame doors including glazing, hardware and finish due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103, 209 and 405)  | 2        | No   | 1,500.00 | 3,000          |
| 190                               | Repair and make good lead lights due to Ground Floor concrete slab removal and steel screw piles installation (Item No. 101 b, 102, 103)   | 4        | No   | 500.00   | 2,000          |
| 191                               | Rehang and make good single hardwood timber solid core paint grade door including frame, hardware and finish due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 100      | No   | 300.00   | 30,000         |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate   | Total          |
|-----|--|----------|------|--------|----------------|
| 192 | Rehang and make good single hardwood timber solid core paint grade slider door including frame, hardware and finish due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b and 103)                   | 1        | No   | 300.00 | 300            |
| 193 | Repair and make good to vision panel due to Ground Floor concrete slab removal and steel screw pile installation (Item No. 101 b, 102 and 103)   | 10       | No   | 250.00 | 2,500          |
| 194 | Reinstall door closer due to Ground Floor concrete slab removal, steel screw pile installation and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)  | 12       | No   | 150.00 | 1,800          |
| 195 | Rehang and make good single proprietary FRR doors -/60/30 complete due to Ground Floor concrete slab removal, steel screw piles and misaligned doors (Item No. 101 b, 102, 103, 209 and 405)   | 4        | No   | 500.00 | 2,000          |
| 196 | Repair, reinstall and make good single glazed timber window including frame, hardware and finish due to Ground floor concrete slab removal and steel screw piles and misaligned doors (Item No. 101 b, 102 and 103)                        | 10       | m2   | 350.00 | 3,500          |
| 197 | Replace broken glazing to doors and windows - see Adler Glass quotation dated 22 September 2015 = \$49,503.53 say \$50,000 excluding GST (Item No. 206 and 207)  |          | Sum  |        | 50,000         |
| 198 | Remove all door barrel bolts for egress and make good (Item No. 405 and Cosgrove report)   | 102      | No   | 200.00 | 20,400         |
|     | <b>Total</b>   |          |      |        | <b>115,500</b> |
|     | <b>FLOOR FINISHES</b>  |          |      |        |                |
| 199 | Marble flooring laid on mortar bed due to Ground Floor North and South section steel screw pile installation (Item No. 102 and 103)  | 15       | m2   | 520.00 | 7,800          |
| 200 | New carpet due to GF concrete slab removal, steel screw piles installation, block work and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116)                                       | 1,676    | m2   | 70.00  | 117,320        |
| 201 | Reinstate and make good timber base boards due to GF concrete slab removal, steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108, 116 and 210)   | 1,459    | m    | 25.00  | 36,475         |
| 202 | Sheet vinyl with welded joints and coved edge including Hydroxy to concrete due to steel screw piles installation, blockwork and concrete floor cracks North and South Section (Item No. 101 b, 102, 103, 104, 105, 106, 107, 108 and 116) | 164      | m2   | 90.00  | 14,760         |
| 203 | New entry matwell due to Ground Floor North and South Section steel screw pile installation (Item No. 102 and 103)   | 3        | m2   | 500.00 | 1,500          |
| 204 | Cement screed on existing floors to North and South Sections due to Sika Cabodur floor diaphragm strengthening work (Option 1C Item No. h)   | 2,281    | m2   | 30.00  | 68,430         |
|     | <b>Total</b>   |          |      |        | <b>246,285</b> |
|     | <b>WALL FINISHES</b>   |          |      |        |                |
| 205 | Remove and replace 13 Gibboard both sides including skirting to North and South Section (Item No. 203 and 204)   | 966      | m2   | 205.00 | 198,030        |
| 206 | Remove and replace 13 Aqualine including skirting to North and South Section (Item No. 203 and 204)  | 44       | m2   | 130.00 | 5,720          |
| 207 | Paint to existing walls including making good to North and South Section (Item No. 203 and 204)  | 3,024    | m2   | 35.00  | 105,840        |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** OPT 1C: 100% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate   | Total          |
|-----|--|----------|------|--------|----------------|
| 208 | Marble walls to entry foyer  | 18       | m2   | 550.00 | 9,900          |
| 209 | Ceramic tiles to toilets   | 195      | m2   | 240.00 | 46,800         |
| 210 | Plaster and paint on existing columns to North and South Sections due to Sika Carbodur strengthening work (Option 1C Item No. f)   | 827      | m2   | 85.00  | 70,295         |
|     | <b>Total</b>   |          |      |        | <b>436,585</b> |
|     | <b>CEILING FINISHES</b>  |          |      |        |                |
| 211 | Paint on 13 Gibboard on 50 ceiling battens (Item No. 201 and 202)  | 1,729    | m2   | 95.00  | 164,255        |
| 212 | Paint on 13 Aqualine on 50 ceiling battens (Item No. 201 and 202)  | 77       | m2   | 105.00 | 8,085          |
| 213 | Acoustic ceiling on 50 timber battens (Item No. 201 and 202)   | 43       | m2   | 150.00 | 6,450          |
| 214 | Mineral fibre ceiling tiles in metal suspension grid (Item No. 201 and 202)  | 89       | m2   | 65.00  | 5,785          |
| 215 | Ceiling cornice (Item No. 201 and 202)   | 886      | m    | 30.00  | 26,580         |
| 216 | Paint to existing ceilings including making good to stair and landing soffits (Item No. 201 and 202)   | 28       | m2   | 40.00  | 1,120          |
|     | <b>Total</b>   |          |      |        | <b>212,275</b> |
|     | <b>FITTINGS AND FIXTURES</b>   |          |      |        |                |
| 217 | Remove and reinstate kitchen joinery= 20 numbers (Provisional Sum)   |          | Sum  |        | 45,000         |
| 218 | Remove and reinstate fixed appliances (Provisional Sum)  |          | Sum  |        | 8,000          |
| 219 | Remove and reinstate office wall shelving (Provisional Sum)  |          | Sum  |        | 7,000          |
| 220 | Remove and reinstate office wall shelving with doors (Provisional Sum)   |          | Sum  |        | 10,000         |
|     | <b>Total</b>   |          |      |        | <b>70,000</b>  |
|     | <b>SANITARY PLUMBING</b>   |          |      |        |                |
|     | <u>Domestic / Flushing Water Services</u>  |          |      |        |                |
| 221 | Pressure test all internal water supply pipework (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |        | 10,000         |
| 222 | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional sum)  |          | Sum  |        | 5,000          |
| 223 | Drain down, flush and clean toilet pan and cistern (Item No. 413 and Cosgroves report)   | 15       | No   | 50.00  | 750            |
| 224 | Drain down, flush and clean wash hand basin (Item No. 413 and Cosgroves report)  | 9        | No   | 50.00  | 450            |
| 225 | Drain down, flush and clean sink insert (Item No. 413 and Cosgroves report)  | 17       | No   | 50.00  | 850            |
| 226 | Drain down, flush and clean cleaners sink (Item No. 413 and Cosgroves report)  | 3        | No   | 50.00  | 150            |
| 227 | LPG boiler system, pumps, air ventilation system, hot water cylinder and associated pipe work - refer to Allserve quotation dated 16 August 2017 = \$165,300 say \$170,000 (Item No. 417 and Cosgroves report) |          | Sum  |        | 170,000        |
| 228 | Test to hot water tempering valves and fixtures (Item No. 417 and Cosgroves report as Provisional Sum)   |          | Sum  |        | 3,000          |
| 229 | Additional RPZ and water connection to building (Item No. 417 and Cosgroves report as Provisional Sum)   |          | Sum  |        | 5,000          |

| No.                                     | Description   | Quantity | Unit | Rate     | Total          |
|---|---|----------|------|----------|----------------|
| <u>Storm Water Services</u>             |   |          |      |          |                |
| 230                                     | Clean gutters and downpipes, inspect and flush connections to kerb discharge (Item No. 413 and Cosgroves report as Provisional Sum)   |          | Sum  |          | 2,000          |
| 231                                     | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional Sum)   |          | Sum  |          | 1,000          |
| 232                                     | Seismic Restraints to suspended services, hot water cylinder and cold water storage tanks (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |          | 8,000          |
| <b>Total</b>                            |   |          |      |          | <b>206,200</b> |
| <b>HEATING AND VENTILATION SERVICES</b> |   |          |      |          |                |
| 233                                     | Check, test and repair existing split heat pump air conditioning unit / heating radiators (Item No. 413)  | 77       | No   | 500.00   | 38,500         |
| 234                                     | Drain and flush radiators pipework including pipework condition report and pressure test (Item No. 413 as Provisional Sum)  |          | Sum  |          | 10,000         |
| 235                                     | Replace damage pipework as required (Item No. 413 as Provisional Sum)   |          | Sum  |          | 5,000          |
| 236                                     | Air compressor including 200 litres air receiver tank complete with integrated refrigerated air dryer refer to Atlas Copco quotation dated 14 August 2017 = \$10,828 say \$11,000 (Item No. 413)            |          | Sum  |          | 11,000         |
| 237                                     | Check, test and clean existing ventilation system riser and ductwork (Item No. 413)   |          | Sum  |          | 20,000         |
| 238                                     | Replace damage ventilation riser or ductwork as required (Item No. 413 as Provisional Sum)  |          | Sum  |          | 6,000          |
| <b>Total</b>                            |   |          |      |          | <b>90,500</b>  |
| <b>FIRE SERVICES</b>                    |   |          |      |          |                |
| 239                                     | Install fire glass panels to sides of main access stair and Basement stair to achieve compliance as part of Building Consent (Item No. 304)   | 39       | m2   | 1,600.00 | 62,400         |
| 240                                     | Ramp access with stainless steel railing from external ground to floor level main entrance at North Section (Item No. 305 as Provisional Sum)   |          | Sum  |          | 15,000         |
| 241                                     | Install accessible toilet on the ground floor level to achieve compliance for Building Consent. Likely to involve alterations to existing partition walls, plumbing, etc. (Item No. 305 as Provisional Sum) |          | Sum  |          | 30,000         |
| 242                                     | Remove existing Type 2f manual alarm system with manual call points and bells (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |          | 25,000         |
| 243                                     | Automatic fire sprinkler system incorporating a manual fire alarm system (Type 4) and an automatic smoke/heat detection system (Item No. 415 and Cosgrove report as Provisional Sum)                        | 2,281    | m2   | 75.00    | 171,075        |
| 244                                     | Remove non illuminated exit signage (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |          | 500            |
| 245                                     | Illuminated exit sign (Item No. 415 and Cosgrove report)  | 19       | No   | 350.00   | 6,650          |
| 246                                     | New magnetic door open device (Item No. 415 and Cosgrove report)  | 7        | No   | 1,000.00 | 7,000          |
| 247                                     | Remove existing door affected by new vision panel (Item No. 415 and Cosgrove report)  | 11       | No   | 300.00   | 3,300          |
| 248                                     | New vision panel to existing door (Item No. 415 and Cosgrove report)  | 11       | No   | 2,000.00 | 22,000         |



Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1



| No. | Description  | Quantity | Unit | Rate      | Total          |
|-----|--|----------|------|-----------|----------------|
| 249 | Remove existing doors affected by FRR doors replacement then dispose off-site  | 14       | No   | 320.00    | 4,480          |
| 250 | Single proprietary FRR doors -/60/30 complete (Item No. 415 and Cosgrove report)   | 10       | No   | 2,500.00  | 25,000         |
| 251 | New single propriety FRR doors -/60/60 complete (Item No. 415 and Cosgrove report)   | 4        | No   | 2,500.00  | 10,000         |
| 252 | Install frameless fire glass panels to lift lobby of Ground, First and Second Floor North Section to achieve compliance as part of Building Consent (Item No. 415 and Cosgrove report)       | 27       | m2   | 2,500.00  | 67,500         |
| 253 | Relocate Basement exit from the Ground Floor North Section (Item No. 415 and Cosgrove report)  | 1        | No   | 1,000.00  | 1,000          |
| 254 | Remove and replace existing external fire stairs from the South end of the building (Item No. 415 and Cosgrove report as Provisional Sum)  |          | Sum  |           | 60,000         |
| 255 | Fire separation to external stair walls, lift walls and office walls North and South Section (Item No. 415 and Cosgrove report as Provisional Sum)   | 382      | m2   | 330.00    | 126,060        |
| 256 | 13 Fyreline board between North and South Sections of the building (Item No. 415 and Cosgrove report as Provisional Sum)   | 233      | m2   | 150.00    | 34,950         |
| 257 | Fire separation to existing subfloor spaces to North and South Sections and all services penetration to be sealed (Item No. 415 and Cosgrove report as Provisional Sum)                      |          | Sum  |           | 10,000         |
|     | <b>Total</b>   |          |      |           | <b>681,915</b> |
|     | <b>ELECTRICAL SERVICES</b>   |          |      |           |                |
|     | <u>Mechanical for Electrical Services</u>  |          |      |           |                |
| 258 | New mechanical switchboard in Basement North Section (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |           | 5,000          |
| 259 | Review and replace associated wiring to new or existing plant items to North Section (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |           | 3,000          |
|     | <u>Electrical Work</u>   |          |      |           |                |
| 260 | Remove existing switchboards, cabling, wiring, luminaires, supply connection to Orion low voltage network, earthing and bonding system (Item No. 414 and Cosgrove report as Provisional Sum) |          | Sum  |           | 50,000         |
| 261 | Electric power and lighting including submains and switchboards (Item No. 414 and Cosgrove report as Provisional Sum)  | 2,281    | m2   | 150.00    | 342,150        |
| 262 | Emergency lighting (Item No. 415 and Cosgrove report as Provisional Sum)   |          | Sum  |           | 10,000         |
|     | <b>Total</b>   |          |      |           | <b>410,150</b> |
|     | <b>VERTICAL AND HORIZONTAL TRANSPORTATION</b>  |          |      |           |                |
| 263 | Lift for three level building excluding shaft (Item No. 416)   | 1        | No   | 75,000.00 | 75,000         |
|     | <b>Total</b>   |          |      |           | <b>75,000</b>  |
|     | <b>SPECIAL SERVICES</b>  |          |      |           |                |
| 264 | Test and commision voice and data point (Item No. 414 and Cosgrove report)   | 77       | No   | 50.00     | 3,850          |
| 265 | Card access security (refer to Mainland Security System quotation dated 14 August 2017 = \$10,340 say \$11,000)  |          | Sum  |           | 11,000         |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1



| No.                             | Description  | Quantity | Unit | Rate     | Total          |
|---------------------------------|--|----------|------|----------|----------------|
| 266                             | Check and commission intruder security (Item No. 414 and Cosgrove report)  |          | Sum  |          | 3,000          |
|                                 | <b>Total</b>   |          |      |          | <b>17,850</b>  |
| <b>SCAFFOLDING &amp; ACCESS</b> |  |          |      |          |                |
| 267                             | Temporary external brace 150x6 SHS due external brick work repair (Drawing No. SKR2, 3, 4 Item No. 412)  | 3        | No   | 1,100.00 | 3,300          |
| 268                             | Temporary scaffoldings due external requirement for crack injection, window glazing replacement, plaster and paint (Item No. 130 and 412 as Provisional Sum) |          | Sum  |          | 100,000        |
| 269                             | Temporary scaffoldings and propping to floors - internal requirement due to bell block walls removal (Drawing No. SKR2 Item No. 131 as Provisional Sum)      |          | Sum  |          | 70,000         |
|                                 | <b>Total</b>   |          |      |          | <b>173,300</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1

| No. | Description                                   | Quantity | Unit | Rate  | Amount          | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|-------|-----------------|-----------------------|
| 1   | SITE WORKS                                    | 375      | m2   | 57.60 | 21,600          | 9.47                  |
| 2   | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00  | 1,080           | 0.47                  |
| 3   | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00 | 2,722           | 1.19                  |
| 4   | MARGIN  |          | %    | 8.00  | 2,032           | 0.89                  |
|     | <b>Total</b>                                  |          |      |       | <b>\$27,000</b> | <b>\$11.84</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1

| No.               | Description   | Quantity | Unit | Rate   | Total         |
|-------------------|---|----------|------|--------|---------------|
| <b>SITE WORKS</b> |   |          |      |        |               |
| 1                 | Remove and replace asphalt alley way including hardfill, excavation and backfill (Item No. 411 as Provisional Quantity = 36m2)        | 36       | m2   | 225.00 | 8,100         |
| 2                 | Remove, store and reinstate paving blocks including sand fill, hardfill and excavation (Item No. 411 as Provisional Quantity = 70 m2) | 70       | m2   | 150.00 | 10,500        |
| 3                 | Remove, store and reinstate metal security fence (Item No. 411 as Provisional Sum)  |          | Sum  |        | 3,000         |
|                   | <b>Total</b>  |          |      |        | <b>21,600</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1

| No. | Description                                   | Quantity | Unit | Rate  | Amount          | \$/m <sup>2</sup> GFA |
|-----|---|----------|------|-------|-----------------|-----------------------|
| 1   | DRAINAGE                                      | 375      | m2   | 40.00 | 15,000          | 6.58                  |
| 2   | EXTERNAL LIGHT & POWER                        | 375      | m2   | 8.00  | 3,000           | 1.32                  |
| 3   | DESIGN DEVELOPMENT CONTINGENCY (Item No. 502) |          | %    | 5.00  | 900             | 0.39                  |
| 4   | PRELIMINARY & GENERAL (Item No. 501)          |          | %    | 12.00 | 2,268           | 0.99                  |
| 5   | MARGIN  |          | %    | 8.00  | 1,693           | 0.74                  |
|     | <b>Total</b>                                  |          |      |       | <b>\$23,000</b> | <b>\$10.08</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : OPT 1C: 100% NBS Rev: 1

| No.                               | Description  | Quantity | Unit | Rate | Total         |
|-----------------------------------|--|----------|------|------|---------------|
| <b>DRAINAGE</b>                   |  |          |      |      |               |
| <u>Sanitary Services</u>          |  |          |      |      |               |
| 1                                 | Water blastings to all existing drains to Cambridge Terrace and Worcester Street going to CCC main service lines (Item 417 and Cosgroves report as Provisional Sum)  |          | Sum  |      | 5,000         |
| 2                                 | Camera survey of sewer lateral of existing sanitary services in particular 3 sewer connections to Cambridge Terrace and 2 sewer connection to Worcester Street going to CCC sewer mains (Item 417 and Cosgroves report as Provisional Sum) |          | Sum  |      | 5,000         |
| 3                                 | Replace pipework, fittings and fixings as required (Item No. 413 and Cosgroves report as Provisional Sum)  |          | Sum  |      | 5,000         |
|                                   | <b>Total</b>   |          |      |      | <b>15,000</b> |
| <b>EXTERNAL LIGHT &amp; POWER</b> |  |          |      |      |               |
| 4                                 | Remove and reinstate site lighting affected by Basement demolition work (Item No. 101 b and 414)   |          | Sum  |      | 3,000         |
|                                   | <b>Total</b>   |          |      |      | <b>3,000</b>  |

# Appendix D

## Replica Replacement

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1



PROJECT SUMMARY

| No. | Description              | Quantity | Unit | Rate     | Total               |
|-----|--------------------------|----------|------|----------|---------------------|
| 1   | DEMOLITION               |          | Sum  |          | 456,000             |
| 2   | BUILDING WORKS           | 2,281    | m2   | 3,721.99 | 8,490,000           |
| 3   | EXTERNAL WORKS           | 375      | m2   | 207.78   | 78,000              |
| 4   | INFRASTRUCTURE SERVICES  | 375      | m2   | 265.93   | <u>100,000</u>      |
|     |                          |          |      |          | 8,668,000           |
| 5   | BUILDING CONSENT         |          | %    | 0.50     | <u>43,000</u>       |
|     |                          |          |      |          | 8,711,000           |
| 6   | CONSTRUCTION CONTINGENCY |          | %    | 5.00     | <u>436,000</u>      |
|     |                          |          |      |          | 9,603,000           |
| 7   | PROFESSIONAL FEES        |          | %    | 12.00    | <u>1,097,000</u>    |
|     |                          |          |      |          |                     |
|     | <b>Total</b>             |          |      |          | <b>\$10,700,000</b> |



Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1



| No. | Description                            | Quantity | Unit | Rate   | Amount             | \$/m <sup>2</sup> GFA |
|-----|--|----------|------|--------|--------------------|-----------------------|
| 1   | SITE PREPARATION                       | 2,281    | m2   | 56.33  | 128,500            | 56.33                 |
| 2   | SUBSTRUCTURE                           | 2,281    | m2   | 357.36 | 815,144            | 357.36                |
| 3   | FRAME                                  | 2,281    | m2   | 270.68 | 617,426            | 270.68                |
| 4   | STRUCTURAL WALLS                       | 2,281    | m2   | 52.04  | 118,700            | 52.04                 |
| 5   | UPPER FLOORS                           | 2,281    | m2   | 199.04 | 454,005            | 199.04                |
| 6   | ROOF                                   | 2,281    | m2   | 138.40 | 315,680            | 138.40                |
| 7   | EXTERIOR WALLS AND EXTERIOR FINISH     | 2,281    | m2   | 342.11 | 780,350            | 342.11                |
| 8   | WINDOWS AND EXTERIOR DOORS             | 2,281    | m2   | 231.37 | 527,750            | 231.37                |
| 9   | STAIRS AND BALUSTRADES                 | 2,281    | m2   | 63.57  | 145,000            | 63.57                 |
| 10  | INTERIOR WALLS                         | 2,281    | m2   | 222.42 | 507,340            | 222.42                |
| 11  | INTERIOR DOORS AND WINDOWS             | 2,281    | m2   | 95.13  | 217,000            | 95.13                 |
| 12  | FLOOR FINISHES                         | 2,281    | m2   | 61.98  | 141,380            | 61.98                 |
| 13  | WALL FINISHES                          | 2,281    | m2   | 150.15 | 342,485            | 150.15                |
| 14  | CEILING FINISHES                       | 2,281    | m2   | 92.23  | 210,385            | 92.23                 |
| 15  | FITTINGS AND FIXTURES                  | 2,281    | m2   | 32.88  | 75,000             | 32.88                 |
| 16  | SANITARY PLUMBING                      | 2,281    | m2   | 127.75 | 291,400            | 127.75                |
| 17  | HEATING AND VENTILATION SERVICES       | 2,281    | m2   | 207.37 | 473,000            | 207.37                |
| 18  | FIRE SERVICES                          | 2,281    | m2   | 25.00  | 57,025             | 25.00                 |
| 19  | ELECTRICAL SERVICES                    | 2,281    | m2   | 154.38 | 352,150            | 154.38                |
| 20  | VERTICAL AND HORIZONTAL TRANSPORTATION | 2,281    | m2   | 37.26  | 85,000             | 37.26                 |
| 21  | SPECIAL SERVICES                       | 2,281    | m2   | 26.69  | 60,870             | 26.69                 |
| 22  | DESIGN DEVELOPMENT CONTINGENCY         |          | %    | 7.50   | 503,669            | 220.81                |
| 23  | PRELIMINARY & GENERAL                  |          | %    | 12.00  | 866,311            | 379.79                |
| 24  | MARGIN                                 |          | %    | 5.00   | 404,279            | 177.24                |
|     | <b>Total</b>                           |          |      |        | <b>\$8,490,000</b> | <b>\$3,722.05</b>     |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1

**AECOM**  
 BUILDING WORKS

| No.                              | Description  | Quantity | Unit | Rate      | Total          |
|----------------------------------|--|----------|------|-----------|----------------|
| <b>SITE PREPARATION</b>          |  |          |      |           |                |
| <u>Basement Construction</u>     |  |          |      |           |                |
| 1                                | Bulk basement excavation and remove off site   | 380      | m3   | 75.00     | 28,500         |
| 2                                | Dewatering for basement excavation (Provisional Sum)   |          | Sum  |           | 100,000        |
|                                  | <b>Total</b>   |          |      |           | <b>128,500</b> |
| <b>SUBSTRUCTURE</b>              |  |          |      |           |                |
| <u>Substructure Construction</u> |  |          |      |           |                |
| 3                                | Strandfloor on 50 x 150 joists and 75 x 200 sleepers on bearers including R1.8 insulation, excavation and disposal | 613      | m2   | 300.00    | 183,900        |
| 4                                | 600 x 600 reinforced concrete strip footing including formwork, excavation and disposal                            | 167      | m    | 450.00    | 74,939         |
| 5                                | 1220 x 800 reinforced concrete strip footing including formwork, excavation and disposal                           | 152      | m    | 770.00    | 117,055        |
| 6                                | 1700 x 1700 x 880 reinforced concrete pad foundations including formwork, excavation and disposal                  | 14       | No   | 4,500.00  | 63,000         |
| 7                                | 2700 x 2700 x 1220 reinforced concrete pad foundations including formwork, excavation and disposal                 | 7        | No   | 12,000.00 | 84,000         |
| <u>Basement Construction</u>     |  |          |      |           |                |
| 8                                | 250 reinforced concrete basement floor slab including tanking and water stops                                      | 101      | m2   | 550.00    | 55,550         |
| 9                                | 250 reinforced concrete basement wall including tanking and water stops  | 57       | m2   | 800.00    | 45,600         |
| 10                               | 300 reinforced concrete basement wall including tanking and water stops  | 54       | m2   | 1,100.00  | 59,400         |
| 11                               | 950 x 1400 x 450 reinforced concrete pad foundations including formwork, excavation and disposal                   | 2        | No   | 2,500.00  | 5,000          |
| 12                               | Reinforced concrete lift pit including sump, formwork, excavation and disposal (2.6m x 2.3m)                       | 1        | No   | 7,500.00  | 7,500          |
| <u>Piling</u>                    |  |          |      |           |                |
| 13                               | 225 x 225 concrete piles to an average of 750mm deep (397 No.)   | 298      | m    | 400.00    | 119,200        |
|                                  | <b>Total</b>   |          |      |           | <b>815,144</b> |
| <b>FRAME</b>                     |  |          |      |           |                |
| <u>Structural Steel</u>          |  |          |      |           |                |
| 14                               | 300 x 300 x 36.81 columns, primed  | 1,453    | kg   | 7.00      | 10,171         |
| 15                               | 300 x 150 x 20 RSJ beams, primed   | 373      | kg   | 7.00      | 2,611          |
| 16                               | 350 x 300 x 45.91 RSJ beams, primed  | 3,435    | kg   | 7.00      | 24,045         |
| 17                               | Secondary steelwork  | 526      | kg   | 7.00      | 3,682          |
| 18                               | Miscellaneous plates and cleats  | 789      | kg   | 18.00     | 14,202         |
| 19                               | Intumescent paint to steelwork   | 162      | m2   | 75.00     | 12,150         |
| <u>In situ Concrete</u>          |  |          |      |           |                |
| 20                               | 200 x 200 reinforced concrete columns  | 6        | m    | 200.00    | 1,200          |
| 21                               | 300 x 600 reinforced concrete L columns  | 133      | m    | 650.00    | 86,450         |
| 22                               | 500 x 650 reinforced concrete columns  | 7        | m    | 770.00    | 5,390          |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** REPILCA REPLACEMENT Rev: 1

**AECOM**  
**BUILDING WORKS**

| No. | Description  | Quantity | Unit | Rate     | Total          |
|-----|--|----------|------|----------|----------------|
| 23  | 300 x 900 reinforced concrete columns  | 199      | m    | 725.00   | 144,275        |
| 24  | 200 x 350 reinforced concrete beams  | 13       | m    | 250.00   | 3,250          |
| 25  | 450 x 650 reinforced concrete beams  | 174      | m    | 660.00   | 114,840        |
| 26  | 300 x 900 reinforced concrete beams  | 287      | m    | 680.00   | 195,160        |
|     | <b>Total</b>   |          |      |          | <b>617,426</b> |
|     | <b>STRUCTURAL WALLS</b>  |          |      |          |                |
| 27  | 225 reinforced concrete insitu wall including formwork to lift well (lift pit to roof deck - North Section)                                | 80       | m2   | 640.00   | 51,200         |
| 28  | 300 reinforced concrete insitu wall including formwork to lift well (lift pit to roof deck - North Section)                                | 90       | m2   | 750.00   | 67,500         |
|     | <b>Total</b>   |          |      |          | <b>118,700</b> |
|     | <b>UPPER FLOORS</b>  |          |      |          |                |
| 29  | 150 reinforced concrete topping on double T suspended floor system in lieu of 150mm reinforced concrete waffle suspended floor slab system | 1,539    | m2   | 295.00   | 454,005        |
|     | <b>Total</b>   |          |      |          | <b>454,005</b> |
|     | <b>ROOF</b>  |          |      |          |                |
| 30  | 150 reinforced concrete floor slab to roof   | 657      | m2   | 250.00   | 164,250        |
| 31  | Waterproofing membrane to roof floor slab  | 657      | m2   | 120.00   | 78,840         |
| 32  | Waterproofing membrane to roof deck parapet (upstand)  | 127      | m2   | 120.00   | 15,240         |
| 33  | Extra value to form internal gutter  | 253      | m    | 200.00   | 50,600         |
| 34  | 100 dia stainless steel downpipes  | 75       | m    | 90.00    | 6,750          |
|     | <b>Total</b>   |          |      |          | <b>315,680</b> |
|     | <b>EXTERIOR WALLS AND EXTERIOR FINISH</b>  |          |      |          |                |
| 35  | 200 reinforced precast concrete panels   | 600      | m2   | 400.00   | 240,000        |
| 36  | Extra over exterior plaster finish and reveals for Heritage facade (Provisional Sum)   | 600      | m2   | 250.00   | 150,000        |
| 37  | 200 reinforced blockwork walls   | 1,055    | m2   | 200.00   | 211,000        |
| 38  | Extra over plaster both sides  | 1,055    | m2   | 110.00   | 116,050        |
| 39  | Extra over paint both sides  | 1,055    | m2   | 60.00    | 63,300         |
|     | <b>Total</b>   |          |      |          | <b>780,350</b> |
|     | <b>WINDOWS AND EXTERIOR DOORS</b>  |          |      |          |                |
| 40  | Clear glazed steel casement windows including transom, frame, hardware and finish  | 277      | m2   | 1,000.00 | 277,000        |
| 41  | Clear glazed steel bay windows including transom, frame, hardware and finish   | 64       | m2   | 1,500.00 | 96,000         |
| 42  | Clear glazed steel casement windows including semi-circle top, transom, frame, hardware and finish   | 60       | m2   | 1,750.00 | 105,000        |
| 43  | Extra value for glass louvres to toilet  | 9        | No   | 250.00   | 2,250          |
| 44  | Extra value for flemish glazing  | 104      | No   | 350.00   | 36,400         |
| 45  | Pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish                                       | 1        | No   | 4,000.00 | 4,000          |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** REPILCA REPLACEMENT Rev: 1

**AECOM**  
**BUILDING WORKS**

| No.                               | Description   | Quantity | Unit | Rate      | Total          |
|-----------------------------------|---|----------|------|-----------|----------------|
| 46                                | Pair of exterior quality solid core door (1.8m x 2.1m) including transom, frame, hardware and finish    | 1        | No   | 3,500.00  | 3,500          |
| 47                                | Single exterior quality solid core door including transom, frame, hardware and finish                   | 2        | No   | 1,800.00  | 3,600          |
| <b>Total</b>                      |   |          |      |           | <b>527,750</b> |
| <b>STAIRS AND BALUSTRADES</b>     |   |          |      |           |                |
| 48                                | Reinforced cast in place concrete stair including landing to one level with marble finish               | 4        | No   | 30,000.00 | 120,000        |
| 49                                | Hardwood timber handrail, posts and steel balustrading with paint finish                                | 20       | m    | 650.00    | 13,000         |
| 50                                | Reinforced concrete in-situ stair including landing to one level Basement                               | 1        | No   | 12,000.00 | 12,000         |
| <b>Total</b>                      |   |          |      |           | <b>145,000</b> |
| <b>INTERIOR WALLS</b>             |   |          |      |           |                |
| 51                                | 125 reinforced concrete insitu wall including formwork to internal walls (Ground Floor - North Section) | 17       | m2   | 490.00    | 8,330          |
| 52                                | 150 reinforced concrete insitu wall including formwork to internal walls (Second Floor - North Section) | 20       | m2   | 525.00    | 10,500         |
| 53                                | 175 reinforced concrete insitu wall including formwork to internal walls (First Floor - North Section)  | 20       | m2   | 565.00    | 11,300         |
| 54                                | 200 reinforced concrete insitu wall including formwork to internal walls (Ground Floor - North Section) | 15       | m2   | 600.00    | 9,000          |
| 55                                | 140 reinforced blockwork walls including plaster finish both sides                                      | 1,488    | m2   | 270.00    | 401,760        |
| 56                                | 150 timber wall framing   | 505      | m2   | 90.00     | 45,450         |
| 57                                | Proprietary toilet cubicle including partition, door and all hardware                                   | 14       | No   | 1,500.00  | 21,000         |
| <b>Total</b>                      |   |          |      |           | <b>507,340</b> |
| <b>INTERIOR DOORS AND WINDOWS</b> |   |          |      |           |                |
| 58                                | Pair of hardwood timber door frame doors including glazing, hardware and finish                         | 2        | No   | 3,500.00  | 7,000          |
| 59                                | Extra value for lead lights   | 4        | No   | 800.00    | 3,200          |
| 60                                | Single hardwood timber solid core paint grade door including frame, hardware and finish                 | 100      | No   | 1,600.00  | 160,000        |
| 61                                | Single hardwood timber solid core paint grade slider door including frame, hardware and finish          | 1        | No   | 1,600.00  | 1,600          |
| 62                                | Extra value for vision panel  | 38       | No   | 250.00    | 9,500          |
| 63                                | Extra value for door closer   | 12       | No   | 300.00    | 3,600          |
| 64                                | Single proprietary FRR doors -/60/30 complete   | 4        | No   | 2,500.00  | 10,000         |
| 65                                | Single glazed timber window including frame, hardware and finish  | 34       | m2   | 650.00    | 22,100         |
| <b>Total</b>                      |   |          |      |           | <b>217,000</b> |
| <b>FLOOR FINISHES</b>             |   |          |      |           |                |
| 66                                | Marble flooring laid on mortar bed  | 15       | m2   | 520.00    | 7,800          |
| 67                                | Broadloom carpet  | 1,676    | m2   | 70.00     | 117,320        |
| 68                                | Sheet vinyl with welded joints and coved edge including Hydroproxy to concrete                          | 164      | m2   | 90.00     | 14,760         |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1



| No. | Description  | Quantity | Unit | Rate     | Total          |
|-----|--|----------|------|----------|----------------|
| 69  | Entry matwell  | 3        | m2   | 500.00   | 1,500          |
|     | <b>Total</b>   |          |      |          | <b>141,380</b> |
|     | <b>WALL FINISHES</b>   |          |      |          |                |
| 70  | Paint on 13 Gibboard both sides including skirting   | 966      | m2   | 130.00   | 125,580        |
| 71  | Paint on 13 Aqualine including skirting  | 44       | m2   | 75.00    | 3,300          |
| 72  | Paint to reinforced concrete and block work walls including making good  | 3,024    | m2   | 35.00    | 105,840        |
| 73  | Timber base boards and skirtings (Reinforced concrete and block work with plaster finish walls)  | 1,459    | m    | 35.00    | 51,065         |
| 74  | Marble walls to entry foyer  | 18       | m2   | 550.00   | 9,900          |
| 75  | Ceramic tiles to toilets   | 195      | m2   | 240.00   | 46,800         |
|     | <b>Total</b>   |          |      |          | <b>342,485</b> |
|     | <b>CEILING FINISHES</b>  |          |      |          |                |
| 76  | Paint on 13 Gibboard on 50 ceiling battens   | 1,729    | m2   | 95.00    | 164,255        |
| 77  | Paint on 13 Aqualine on 50 ceiling battens   | 77       | m2   | 110.00   | 8,470          |
| 78  | Acoustic ceiling on 50 timber battens  | 43       | m2   | 150.00   | 6,450          |
| 79  | Mineral fibre ceiling tiles in metal suspension grid   | 54       | m2   | 65.00    | 3,510          |
| 80  | Extra value for ceiling cornice  | 886      | m    | 30.00    | 26,580         |
| 81  | Paint to stair ceilings and landing soffits  | 28       | m2   | 40.00    | 1,120          |
|     | <b>Total</b>   |          |      |          | <b>210,385</b> |
|     | <b>FITTINGS AND FIXTURES</b>   |          |      |          |                |
| 82  | Kitchen joinery  |          | Sum  |          | 30,000         |
| 83  | Extra value for fixed appliances   |          | Sum  |          | 15,000         |
| 84  | Wall shelving  |          | Sum  |          | 10,000         |
| 85  | Wall shelving with doors   |          | Sum  |          | 20,000         |
|     | <b>Total</b>   |          |      |          | <b>75,000</b>  |
|     | <b>SANITARY PLUMBING</b>   |          |      |          |                |
| 86  | Internal water supply  |          | Sum  |          | 10,000         |
| 87  | Toilet pan and cistern complete with water and waste services  | 15       | No   | 3,000.00 | 45,000         |
| 88  | Wash hand basin complete with water and waste services   | 9        | No   | 1,500.00 | 13,500         |
| 89  | Sink insert complete with water and waste services   | 17       | No   | 1,500.00 | 25,500         |
| 90  | Cleaners sink complete with water and waste services   | 3        | No   | 1,800.00 | 5,400          |
| 91  | Hot water cylinder including cold water connection, LPG boiler system, pumps, air ventilation system and associated pipe work (refer to Allserve quotation dated 16 August 2017 = \$165,300 say \$170,000) |          | Sum  |          | 170,000        |
| 92  | Extra value for multi-storey vertical plumbing (per fitting)   | 44       | No   | 500.00   | 22,000         |
|     | <b>Total</b>   |          |      |          | <b>291,400</b> |
|     | <b>HEATING AND VENTILATION SERVICES</b>  |          |      |          |                |
| 93  | Split heat pump air conditioning unit  | 77       | No   | 6,000.00 | 462,000        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1



| No.   | Description   | Quantity | Unit | Rate      | Total          |
|---|---|----------|------|-----------|----------------|
| 94  | Air compressor including 200 litres air receiver tank complete with integrated refrigerated air dryer refer to Atlas Copco quotation dated 14 August 2017 = \$10,828 say \$11,000 |          | Sum  |           | 11,000         |
|   | <b>Total</b>  |          |      |           | <b>473,000</b> |
| <b>FIRE SERVICES</b>                          |   |          |      |           |                |
| 95  | Automatic fire alarm system including smoke/heat detectors and manual call points   | 2,281    | m2   | 25.00     | 57,025         |
|   | <b>Total</b>  |          |      |           | <b>57,025</b>  |
| <b>ELECTRICAL SERVICES</b>                    |   |          |      |           |                |
| 96  | Electric power and lighting including submains and switchboards   | 2,281    | m2   | 150.00    | 342,150        |
| 97  | Extra value for feature lighting  |          | Sum  |           | 10,000         |
|   | <b>Total</b>  |          |      |           | <b>352,150</b> |
| <b>VERTICAL AND HORIZONTAL TRANSPORTATION</b> |   |          |      |           |                |
| 98  | Lift for three level building excluding shaft   | 1        | No   | 85,000.00 | 85,000         |
|   | <b>Total</b>  |          |      |           | <b>85,000</b>  |
| <b>SPECIAL SERVICES</b>                       |   |          |      |           |                |
| 99  | Data trunking   | 201      | m    | 70.00     | 14,070         |
| 100   | Voice and data point  | 77       | No   | 400.00    | 30,800         |
| 101   | Card access security (refer to Mainland Security System quotation dated 14 August 2017 = \$10,340 say \$11,000)   |          | Sum  |           | 11,000         |
| 102   | Intruder security   |          | Sum  |           | 5,000          |
|   | <b>Total</b>  |          |      |           | <b>60,870</b>  |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1



| No. | Description                    | Quantity | Unit | Rate   | Amount          | \$/m <sup>2</sup> GFA |
|-----|--------------------------------|----------|------|--------|-----------------|-----------------------|
| 1   | SITE WORKS                     | 375      | m2   | 168.27 | 63,100          | 27.66                 |
| 2   | DESIGN DEVELOPMENT CONTINGENCY |          | %    | 5.00   | 3,155           | 1.38                  |
| 3   | PRELIMINARY & GENERAL          |          | %    | 12.00  | 7,951           | 3.49                  |
| 4   | MARGIN                         |          | %    | 5.00   | 3,710           | 1.63                  |
|     | <b>Total</b>                   |          |      |        | <b>\$78,000</b> | <b>\$34.20</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1

| No.               | Description  | Quantity | Unit | Rate   | Total         |
|-------------------|--|----------|------|--------|---------------|
| <b>SITE WORKS</b> |  |          |      |        |               |
| 1                 | Asphalt alley way including hardfill, excavation, channels and site drainage | 235      | m2   | 160.00 | 37,600        |
| 2                 | Paving blocks including sand fill, hardfill and excavation                   | 140      | m2   | 150.00 | 21,000        |
| 3                 | Metal security fence   |          | Sum  |        | 4,500         |
|                   | <b>Total</b>   |          |      |        | <b>63,100</b> |



Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1



INFRASTRUCTURE SERVICES

| No. | Description                    | Quantity | Unit | Rate  | Amount           | \$/m <sup>2</sup> GFA |
|-----|--------------------------------|----------|------|-------|------------------|-----------------------|
| 1   | DRAINAGE                       | 375      | m2   | 53.33 | 20,000           | 8.77                  |
| 2   | EXTERNAL WATER SUPPLY          | 375      | m2   | 26.67 | 10,000           | 4.38                  |
| 3   | EXTERNAL GAS SUPPLY            | 375      | m2   | 26.67 | 10,000           | 4.38                  |
| 4   | EXTERNAL LIGHT & POWER         | 375      | m2   | 80.00 | 30,000           | 13.15                 |
| 5   | EXTERNAL SPECIAL SERVICES      | 375      | m2   | 26.67 | 10,000           | 4.38                  |
| 6   | DESIGN DEVELOPMENT CONTINGENCY |          | %    | 5.00  | 4,000            | 1.75                  |
| 7   | PRELIMINARY & GENERAL          |          | %    | 12.00 | 10,080           | 4.42                  |
| 8   | MARGIN                         |          | %    | 6.00  | 5,645            | 2.47                  |
|     | <b>Total</b>                   |          |      |       | <b>\$100,000</b> | <b>\$43.84</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REPILCA REPLACEMENT Rev: 1



INFRASTRUCTURE SERVICES

| No.                               | Description   | Quantity | Unit | Rate | Total         |
|-----------------------------------|---|----------|------|------|---------------|
| <b>DRAINAGE</b>                   |   |          |      |      |               |
| 1                                 | Sewer and stormwater drainage including manhole (Provisional Sum) |          | Sum  |      | 20,000        |
|                                   | <b>Total</b>  |          |      |      | <b>20,000</b> |
| <b>EXTERNAL WATER SUPPLY</b>      |   |          |      |      |               |
| 2                                 | Incoming water mains supply (Provisional Sum)                     |          | Sum  |      | 10,000        |
|                                   | <b>Total</b>  |          |      |      | <b>10,000</b> |
| <b>EXTERNAL GAS SUPPLY</b>        |   |          |      |      |               |
| 3                                 | Incoming LPG or natural gas mains supply (Provisional Sum)        |          | Sum  |      | 10,000        |
|                                   | <b>Total</b>  |          |      |      | <b>10,000</b> |
| <b>EXTERNAL LIGHT &amp; POWER</b> |   |          |      |      |               |
| 4                                 | Incoming mains power supply                                       |          | Sum  |      | 15,000        |
| 5                                 | Site lighting   |          | Sum  |      | 15,000        |
|                                   | <b>Total</b>  |          |      |      | <b>30,000</b> |
| <b>EXTERNAL SPECIAL SERVICES</b>  |   |          |      |      |               |
| 6                                 | Incoming telecoms   |          | Sum  |      | 5,000         |
| 7                                 | Incoming fibre communications                                     |          | Sum  |      | 5,000         |
|                                   | <b>Total</b>  |          |      |      | <b>10,000</b> |

# Appendix E

## Façade Retention

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2



PROJECT SUMMARY

| No. | Description       | Quantity | Unit | Rate     | Total              |
|-----|-------------------|----------|------|----------|--------------------|
| 1   | DEMOLITION WORK   | 2,281    | m2   | 116.97   | 267,000            |
| 2   | RETAINMENT WORK   | 2,281    | m2   | 1,722.31 | 3,929,000          |
| 3   | CONNECTION WORK   | 2,281    | m2   | 95.09    | 217,000            |
| 4   | RESTORATION WORKS | 2,281    | m2   | 235.25   | 537,000            |
|     | <b>Total</b>      |          |      |          | <b>\$4,950,000</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No. | Description  | Quantity | Unit | Rate   | Amount           | \$/m <sup>2</sup> GFA |
|-----|--------------|----------|------|--------|------------------|-----------------------|
| 1   | DEMOLITION   | 2,281    | m2   | 116.97 | 266,800          | 116.97                |
|     | <b>Total</b> |          |      |        | <b>\$267,000</b> | <b>\$117.05</b>       |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No.   | Description  | Quantity | Unit | Rate | Total          |
|---|--|----------|------|------|----------------|
| <b>DEMOLITION</b>   |  |          |      |      |                |
| <u>Building demolition estimate received from Dormer Construction dated 30 May 2017</u> |  |          |      |      |                |
| 1   | Main building demolition (Excluded)<br>Extra for façade retention: |          | Sum  |      |                |
| 2   | - Additional P&G   |          | Sum  |      | 36,000         |
| 3   | - Detailed concrete cutting  |          | Sum  |      | 74,000         |
| 4   | - Additional demolition works                                      |          | Sum  |      | 122,000        |
| 5   | - Builder's Work Profit and Attendance (15%)                       |          | Sum  |      | 34,800         |
| NOTE: Refer to email dd 08 Sep 2017 Item No. j.   |  |          |      |      |                |
| <b>Total</b>  |  |          |      |      | <b>266,800</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No. | Description                    | Quantity | Unit | Rate   | Amount             | \$/m <sup>2</sup> GFA |
|-----|--------------------------------|----------|------|--------|--------------------|-----------------------|
| 1   | SITE PREPARATION               | 2,281    | m2   | 602.70 | 1,374,756          | 602.70                |
| 2   | SUBSTRUCTURE                   | 2,281    | m2   | 409.83 | 934,827            | 409.83                |
| 3   | FRAME                          | 2,281    | m2   | 275.04 | 627,000            | 274.88                |
| 4   | ROOF                           | 2,281    | m2   | 7.15   | 16,000             | 7.01                  |
| 5   | DESIGN DEVELOPMENT CONTINGENCY |          | %    | 10.00  | 295,000            | 129.33                |
| 6   | PRELIMINARY & GENERAL          |          | %    | 12.00  | 390,000            | 170.98                |
| 7   | MARGIN                         |          | %    | 8.00   | 291,000            | 127.58                |
|     | <b>Total</b>                   |          |      |        | <b>\$3,929,000</b> | <b>\$1,722.49</b>     |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No.                              | Description   | Quantity | Unit | Rate     | Total            |
|----------------------------------|---|----------|------|----------|------------------|
| <b>SITE PREPARATION</b>          |   |          |      |          |                  |
| 1                                | Traffic controls and management (Email dd 08 Sep 2017 Item No. d.)<br><u>Temporary steel frame, brace and supports to external façade (Email dd 08 Sep 2017 Item No. e., f. and j.)</u> |          | Sum  |          | 60,000           |
| 2                                | 250 UC steel columns primed   | 44,316   | kg   | 8.00     | 354,528          |
| 3                                | 250 UC steel beams, primed  | 15,662   | kg   | 8.00     | 125,296          |
| 4                                | 250 UC steel diagonal members, primed   | 24,624   | kg   | 8.00     | 196,992          |
| 5                                | 380 PFC steel walers members, primed  | 12,736   | kg   | 8.00     | 101,888          |
| 6                                | Miscellaneous plates and cleats   | 9,734    | kg   | 18.00    | 175,212          |
| 7                                | M20 bolts epoxied at each main connection to existing concrete columns  | 304      | No   | 25.00    | 7,600            |
| 8                                | M20 bolts epoxied at 300 centres to existing concrete façade columns and beams, waler beneath each floor level  | 780      | No   | 25.00    | 19,500           |
| 9                                | Paint to steelwork - part of overall health and safety (OHS)  | 1,681    | m2   | 40.00    | 67,240           |
| 10                               | Remove temporary transfer truss after completing all related work (Provisional Sum)   |          | Sum  |          | 100,000          |
| 11                               | Temporary full propping to Cambridge Tce entry section and north end corner of the building (Provisional Sum - email dd 08 Sep 2017 Item No. g. and h.)                                 |          | Sum  |          | 16,000           |
| 12                               | Demolish existing 600 x 1400 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111 and email dd 08 Sep 2017 Item No. i.)                             | 4        | m    | 3,250.00 | 13,000           |
| 13                               | Cost allowance for demolition of affected beams and brick walls (Provisional Sum - Email dd 08 Sep Item No. i.)<br><u>Exterior windows and doors</u>                                    |          | Sum  |          | 5,000            |
| 14                               | Remove and store external glazed steel casement windows including transom, frame, hardware and finish (Item No. 405 and email dd 08 Sep 2017 Item No. a.)                               | 277      | m2   | 300.00   | 83,100           |
| 15                               | Remove and store external glazed steel bay windows including transom, frame, hardware and finish (Structex Item No. 405 and email dd 08 Sep 2017 Item No. a.)                           | 64       | m2   | 350.00   | 22,400           |
| 16                               | Remove and store external glazed steel casement windows including semi-circle top, transom, frame, hardware and finish (Structex Item No. 405 and email dd 08 Sep 2017 Item No. a.)     | 60       | m2   | 400.00   | 24,000           |
| 17                               | Remove and store external glass louvre windows to toilet (Structex Item No. 405 and email dd 08 Sep 2017 Item No. a.)   | 9        | No   | 150.00   | 1,350            |
| 18                               | Remove and store pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish (Structex Item No. 405)   | 1        | No   | 750.00   | 750              |
| 19                               | Remove and store of exterior quality solid core door (1.8mx2.1m) including transom, frame, hardware and finish (Structex Item No. 405)  | 1        | No   | 600.00   | 600              |
| 20                               | Remove and store single exterior quality solid core door including transom, frame, hardware and finish (Structex Item No. 405)  | 2        | No   | 150.00   | 300              |
|                                  | <b>Total</b>  |          |      |          | <b>1,374,756</b> |
| <b>SUBSTRUCTURE</b>              |   |          |      |          |                  |
| <u>Substructure Construction</u> |   |          |      |          |                  |



**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** REVISED RETAINED FACADE Rev: 2

**AECOM**  
**RETAINMENT WORK**

| No. | Description   | Quantity | Unit | Rate     | Total   |
|-----|---|----------|------|----------|---------|
| 21  | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor North Section (Item No. 102, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b. and d)  | 28       | m    | 920.00   | 25,800  |
| 22  | 500 x 500 reinforced concrete underpin beams including formwork, excavation and disposal over steel screw piles Ground Floor North Section (Item No. 102, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b. and d.)   | 22       | m    | 385.00   | 8,400   |
| 23  | 800 x 1000 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor South Section (Item No. 103, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b.)  | 41       | m    | 920.00   | 37,400  |
| 24  | 500 x 500 reinforced concrete underpin beams including formwork, excavation and disposal over steel screw piles Ground Floor South Section (Item No. 103, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b.)  | 23       | m    | 385.00   | 8,900   |
| 25  | Retain the basement wall directly beneath the basement at the original entry location and make good (Option 2A Item No. c)  | 7        | m2   | 55.00    | 400     |
| 26  | 600 x 800 reinforced concrete foundation beams including formwork, excavation and disposal tied into existing foundation Ground Floor North Section (Email dd 08 Sep 2017 Item No. c. and d.)   | 115      | m    | 675.00   | 77,900  |
|     | <u>Piling</u>   |          |      |          |         |
| 27  | 168 dia steel screw piles to an average of 3m deep to Ground Floor North Section existing façade - see Piletech email high level quotation dated 21 September 2015 (Item No. 102, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b. and d.)                               | 16       | No   | 2,273.00 | 36,344  |
| 28  | Supply and install structural steel angle fixed to new foundation beam and pile caps - Ground Floor North Section existing façade (Item No. 102, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b. and d.)  | 16       | No   | 1,500.00 | 24,000  |
| 29  | Jack, pack and grout screw piles to Ground Floor North Section existing façade (Item No. 102, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b. and d. as Provisional Sum)  |          | Sum  |          | 100,000 |
| 30  | 168 dia steel screw piles to an average of 3m deep to Ground Floor South Section existing façade (Item No. 103, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b.)  | 18       | No   | 2,273.00 | 40,917  |
| 31  | Supply and install structural steel angle fixed to new foundation beam and pile caps - Ground Floor South Section existing façade (Item No. 102, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b.)   | 18       | No   | 1,500.00 | 27,000  |
| 32  | Jack, pack and grout screw piles to Ground Floor South Section existing façade (Item No. 103, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. b. as Provisional Sum)   |          | Sum  |          | 50,000  |
| 33  | 168 dia steel screw piles to an average of 3m deep to Ground Floor North & South Section (Email dd 08 Sep 2017 Item No. c. and d.)  | 76       | No   | 2,273.00 | 172,748 |
| 34  | 168 dia steel screw piles to an average of 3m deep to Ground Floor North Section existing façade - see Piletech email high level quotation dated 21 September 2015 (Item No. 102, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. t.) Total number of screw piles = 88 No. | 72       | No   | 2,273.00 | 163,632 |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No. | Description  | Quantity | Unit | Rate     | Total          |
|-----|--|----------|------|----------|----------------|
| 35  | 168 dia steel screw piles to an average of 3m deep to Ground Floor South Section existing façade (Item No. 103, Option 2A Item No. d, e, h d & h e and email dd 08 Sep 2017 Item No. t.) Total number of screw piles = 89 No.  | 71       | No   | 2,273.00 | 161,386        |
|     | <b>Total</b>   |          |      |          | <b>934,827</b> |
|     | <b>FRAME</b>   |          |      |          |                |
| 36  | 600 x 1400 reinforced concrete columns to Ground floor North Section (Drawing No. SKR2 Item No. 111, Option 2A Item No. f., email dd 08 Sep 2017 Item No. i.)<br><u>Supply and installation of Sika Cabodur plates (Option 1C Item No. f and email dd 08 Sep 2017 Item No. k.)</u> | 4        | m    | 1,780.00 | 7,120          |
| 37  | 100mm x 1.2mm (2 sides) spaced at 300mm centres to North Section columns (Provisional Quantity)  | 675      | m    | 132.00   | 89,100         |
| 38  | 50mm x 1.2mm (all 4 sides) spaced at 150mm centres to North Section columns (Provisional Quantity)   | 819      | m    | 91.00    | 74,529         |
| 39  | 100mm x 1.2mm (2 sides) spaced at 300mm centres to South Section columns (Provisional Quantity)  | 1,620    | m    | 132.00   | 213,840        |
| 40  | 50mm x 1.2mm (all 4 sides) spaced at 150mm centres to South Section columns (Provisional Quantity)<br><u>Post tensioning to existing circular concrete columns at main entry (Email dd 08 Sep 2017 Item No. p.)</u>  | 1,966    | m    | 121.00   | 237,886        |
| 41  | Core drilling (Provisional Sum)  |          | Sum  |          | 1,000          |
| 42  | Supply and install RB25 rod  | 44       | kg   | 4.00     | 176            |
| 43  | Cementitious grout to concrete core holes  | 12       | m    | 60.00    | 720            |
| 44  | Apply post tensioning to RB25 rod  |          | Sum  |          | 3,000          |
|     | <b>Total</b>   |          |      |          | <b>627,000</b> |
|     | <b>ROOF</b>  |          |      |          |                |
|     | <u>Supplementary strengthening work to concrete canopy at main entry (Email dd 08 Sep 2017 Item No. q.)</u>  |          |      |          |                |
| 45  | Concrete cutting 50x50 chases into the soffit of the concrete at 300mm centres including chisel and grinding (North-South)   | 84       | m    | 110.00   | 9,240          |
| 46  | Supply and install H12 reinforcing bars  | 88       | kg   | 4.00     | 352            |
| 47  | Cementitious grout to concrete chase   | 84       | m    | 80.00    | 6,720          |
|     | <b>Total</b>   |          |      |          | <b>16,000</b>  |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No. | Description                    | Quantity | Unit | Rate  | Amount           | \$/m <sup>2</sup> GFA |
|-----|--------------------------------|----------|------|-------|------------------|-----------------------|
| 1   | SUBSTRUCTURE                   | 2,281    | m2   | 6.58  | 15,000           | 6.58                  |
| 2   | FRAME                          | 2,281    | m2   | 64.88 | 148,000          | 64.88                 |
| 3   | DESIGN DEVELOPMENT CONTINGENCY |          | %    | 10.00 | 16,300           | 7.15                  |
| 4   | PRELIMINARY & GENERAL          |          | %    | 12.00 | 21,500           | 9.43                  |
| 5   | MARGIN                         |          | %    | 8.00  | 16,100           | 7.06                  |
|     | <b>Total</b>                   |          |      |       | <b>\$217,000</b> | <b>\$95.13</b>        |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No.                 | Description  | Quantity | Unit | Rate   | Total          |
|---------------------|--|----------|------|--------|----------------|
| <b>SUBSTRUCTURE</b> |  |          |      |        |                |
| 1                   | Allow connection to new substructure foundation beams, basement walls and floors (Email dd 08 Sep 2017 Item No. c., i. & l.)   |          | Sum  |        | 15,000         |
|                     | <b>Total</b>   |          |      |        | <b>15,000</b>  |
| <b>FRAME</b>        |  |          |      |        |                |
| 2                   | Tie-in together all existing columns, beams and external façade walls with structural steel and concrete skin walls to new building (Email dd 08 Sep 2017 Item No. c., i. & l.)    | 820      | m2   | 150.00 | 123,000        |
| 3                   | Concrete crack epoxy injection to exterior concrete beams, columns and concrete walls - North and South Section (Item No. 112, 113, 114, 115 and email dd 08 Sep 2017 Item No. o.) | 100      | m    | 250.00 | 25,000         |
|                     | <b>Total</b>   |          |      |        | <b>148,000</b> |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No. | Description                        | Quantity | Unit | Rate  | Amount           | \$/m <sup>2</sup> GFA |
|-----|------------------------------------|----------|------|-------|------------------|-----------------------|
| 1   | EXTERIOR WALLS AND EXTERIOR FINISH | 2,281    | m2   | 83.17 | 189,700          | 83.17                 |
| 2   | WINDOWS AND EXTERIOR DOORS         | 2,281    | m2   | 86.61 | 197,600          | 86.63                 |
| 3   | EXTERNAL WORKS                     | 375      | m2   | 44.80 | 16,800           | 7.37                  |
| 4   | DESIGN DEVELOPMENT CONTINGENCY     |          | %    | 10.00 | 40,400           | 17.71                 |
| 5   | PRELIMINARY & GENERAL              |          | %    | 12.00 | 53,300           | 23.37                 |
| 6   | MARGIN                             |          | %    | 8.00  | 38,800           | 17.01                 |
|     | <b>Total</b>                       |          |      |       | <b>\$537,000</b> | <b>\$235.42</b>       |

**Project :** Lee Pee Limited  
**Harley Chambers**  
**Cost Plan :** REVISED RETAINED FACADE Rev: 2

**AECOM**  
**RESTORATION WORKS**

| No.   | Description  | Quantity | Unit | Rate     | Total          |
|---|--|----------|------|----------|----------------|
| <b>EXTERIOR WALLS AND EXTERIOR FINISH</b>   |  |          |      |          |                |
| 1   | Concrete crack epoxy injection to parapet walls North Section Cambridge Tce frontage (Item No. 120)  | 20       | m    | 250.00   | 5,000          |
| 2   | Concrete crack epoxy injection to parapet walls South Section Cambridge Tce and Worcester frontages (Item No. 121)   | 20       | m    | 250.00   | 5,000          |
| 3   | Concrete crack epoxy injection to exterior walls North and South Section (Item No. 205)  | 290      | m    | 250.00   | 72,500         |
| 4   | Restore exterior plaster finish including features like reveals, negative details and the like (Email dd 08 Sep 2017 Item No. m.)  | 600      | m2   | 100.00   | 60,000         |
| 5   | Prepare and re-paint external façade (Email dd 08 Sep 2017 Item No. s.)  | 600      | m2   | 55.00    | 33,000         |
| <u>Existing joint between the North and South Sections of the Building (Item No. 208 and email dd 08 Sep 2017 Item No. n. i. to vii.)</u> |  |          |      |          |                |
| 6   | Break back exterior face of the façade to 300mm each side of the joint and to 150mm depth over the full height of the building (Provisional Sum)   |          | Sum  |          | 2,000          |
| 7   | Drill and epoxy H12 ties into each end face of the existing face, at 300 centres over the full height.   | 47       | No   | 145.00   | 6,815          |
| 8   | Provide 4-H12 vertical reinforcement bars (full height)  | 52       | kg   | 4.00     | 208            |
| 9   | Fill cut-out section with self compacting concrete   | 2        | m3   | 450.00   | 900            |
| 10  | Install 400x400x12 steel plates to the inside face of the façade, with 4 epoxied M16 bolts (2 each side of existing joint), and spaced at 1000crs over the full height                     | 14       | No   | 235.00   | 3,290          |
| 11  | Reinstate plaster finishes (Provisional Sum)   |          | Sum  |          | 1,000          |
| <b>Total</b>  |  |          |      |          | <b>189,700</b> |
| <b>WINDOWS AND EXTERIOR DOORS</b>   |  |          |      |          |                |
| 12  | Reinstall and make good external glazed steel casement windows including transom, frame, hardware and finish (Structex Item No. 405 and email dd 08 Sep 2017 Item No. a.)                  | 277      | m2   | 450.00   | 124,650        |
| 13  | Reinstall and make good external glazed steel bay windows including transom, frame, hardware and finish (Structex Item No. 405 and email dd 08 Sep 2017 Item No. a.)                       | 64       | m2   | 500.00   | 32,000         |
| 14  | Reinstall and make good external glazed steel casement windows including semi-circle top, transom, frame, hardware and finish (Structex Item No. 405 and email dd 08 Sep 2017 Item No. a.) | 60       | m2   | 600.00   | 36,000         |
| 15  | Reinstall and make good external glass louvre windows to toilet (Structex Item No. 405 and email dd 08 Sep 2017 Item No. a.)   | 9        | No   | 200.00   | 1,800          |
| 16  | Rehang, install and make good pair of exterior quality solid core door (2.1m x 2.1m) including transom, frame, hardware and finish (Structex Item No. 209 and 405)                         | 1        | No   | 1,500.00 | 1,500          |
| 17  | Rehang, install and make good pair of exterior quality solid core door (1.8mx2.1m) including transom, frame, hardware and finish (Structex Item No. 209 and 405)                           | 1        | No   | 1,000.00 | 1,000          |
| 18  | Rehang, install and make good single exterior quality solid core door including transom, frame, hardware and finish (Structex Item No. 209 and 405)  | 2        | No   | 250.00   | 500            |
| 19  | Remove all door barrel bolts for easy egress and make good (Structex Item No. 405 and Cosgrove report)   | 2        | No   | 55.00    | 110            |

Project : Lee Pee Limited  
 Harley Chambers  
 Cost Plan : REVISED RETAINED FACADE Rev: 2

| No. | Description           | Quantity | Unit | Rate  | Total          |
|-----|-----------------------|----------|------|-------|----------------|
|     | <b>Total</b>          |          |      |       | <b>197,600</b> |
|     | <b>EXTERNAL WORKS</b> |          |      |       |                |
| 20  | SITE WORKS            | 375      | m2   | 44.80 | 16,800         |
|     | <b>Total</b>          |          |      |       | <b>16,800</b>  |